



## Village of Hanover Park Administration

Municipal Building  
2121 Lake Street  
Hanover Park, IL 60133-4398

630-823-5600  
FAX 630-823-5786  
www.hpil.org

**PRESIDENT**  
RODNEY S. CRAIG

**VILLAGE CLERK**  
EIRA CORRAL

**TRUSTEES**  
WILLIAM CANNON  
JAMES KEMPER  
JENNI KONSTANZER  
JON KUNKEL  
RICK ROBERTS  
EDWARD J. ZIMEL, JR.

**VILLAGE MANAGER**  
JULIANA A. MALLER

### VILLAGE OF HANOVER PARK DEVELOPMENT COMMISSION REGULAR MEETING

**Municipal Building, Room 214  
Hanover Park, IL**

**Thursday, November 14, 2013**

**7:00 p.m.**

#### **AGENDA**

1. **CALL TO ORDER: ROLL CALL**
2. **PLEDGE OF ALLIEGENCE:**
3. **ACCEPTANCE OF AGENDA:**
4. **PRESENTATIONS/REPORTS:**
5. **APPROVAL OF MINUTES:**
  - 5-a. July 11, 2013
  - 5-b. August 8, 2013
6. **ACTION ITEMS:**
  - 6-a. **Public Hearing:**

Adam McCabe on behalf of AT&T Mobility  
1700 Greenbrook Boulevard – Seafari Springs Aquatic Center  
Special Use – non-Village-owned utility (wireless telecommunications tower)  
Variance – antenna height
  - 6-b. **Public Hearing:**

Adam McCabe on behalf of AT&T Mobility  
687 Hartmann Drive – Hartmann Water Tower  
Special Use – non-Village-owned utility (wireless telecommunications antenna)  
Variance – accessory structure number, size, and setback
  - 6-c. **Public Hearing:**

Initial consideration of a text amendment pursuant to the Public Act 098-0122 cited as the Compassionate Use of Medical Cannabis Pilot Program Act, on the question of whether the Zoning Ordinance should be amended to include Distribution Facilities as a Special Use or whether the Zoning or District Map

should be changed.

**7. TOWNHALL SESSION:**

Persons wishing to address the public body must register prior to Call to Order. Please note that public comment is limited to 5 minutes per speaker.

**8. OLD BUSINESS (NON-ACTION ITEMS):**

**9. NEW BUSINESS (NON-ACTION ITEMS):**

**9-a.** Community Development Update

**10. ADJOURNMENT:**



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JULIANA A. MALLER

## VILLAGE OF HANOVER PARK DEVELOPMENT COMMISSION WORKSHOP

Municipal Building, Village Board Room 214  
2121 W. Lake Street  
Hanover Park, IL 60133

Wednesday, July 11, 2013  
6:30 p.m.

### MINUTES

#### 1. CALL TO ORDER: ROLL CALL

Chairperson Wachsmuth called the Workshop to order at 6:32 p.m.

<b>PRESENT:</b>	Commissioners:	Jim Aird, Arthur Berthelot, Scot Neil, Gary Rasmussen, Patrick Watkins, Chairperson Virginia Wachsmuth
<b>ABSENT:</b>	Commissioners:	Marc Mercier
<b>ALSO PRESENT:</b>		Village Manager Juliana Maller, Planner Katie Bowman, Inspectional Services Chief Ann Marie Hess, Recording Secretary Regina Mullen, Konstantine Savoy of Teska Associates; 627 Grove Street, Evanston, IL 60201-4474

#### 2. PLEDGE OF ALLIEGENCE:

#### 3. ACCEPTANCE OF AGENDA:

Motion by Commissioner Rasmussen, seconded by Commissioner Watkins.

Voice Vote:

All AYES.

**Motion Carried:** Agenda Accepted.

**3. DISCUSSION TOPICS:**

- a. Unified Development Ordinance (UDO) Update Review

**Chairperson Wachsmuth** stated the Commission will be discussing updates to the Site Plan Review Regulations – Exhibit 1, Variation Regulations – Exhibit 2, and Landscape Regulations – Exhibit 3.

**Village Planner Bowman** requested the Commission refer to the underlined text in each Regulation, as these are the specific changes to be discussed at tonight’s Worskhop.

**Consultant Savoy** stated our purpose is to strengthen the Zoning Ordinance making improvements/upgrades to existing properties and instituting better standards to be applied going forward, as expressed in the Village Center Plan and the Irving Park Road Corridor Study.

**Site Plan Review Regulations**

**Village Planner Bowman** - Site Plan Review Regulations address the procedure by which proposals for new development/redevelopment are reviewed by the Zoning Administrator for conformance with Zoning and other regulations.

Questions were requested by the Commission referring to the underlined text of Exhibit 1.

**Following a discussion this Commission directed staff to address:**

**Division 5.2 (1) Authority** Chief Hess and Village Planner Bowman will discuss further what is considered a building renovation – what degree/percentage.

Division 5.2 (7) Authority – Add parking “reconfiguration.”

**Division 5.2 Authority a. b. c.** – Staff to reword for clarification.

**Variation Regulations**

**Village Planner Bowman** – Variation Regulations are a guide when a variance is permitted, what types of variances are permitted, and the standards against which the Development Commission evaluates variance applications. It is intended to provide limited relief from development requirements when strict application of such requirements will create a practical, difficult, or unnecessary hardship prohibiting the use of land in its permitted manner.

**Following a discussion, this Commission directed staff to address:**

Minor changes to wording within this Regulation.

## Landscape Regulations

**Village Planner Bowman** – Landscape Regulations guide the way in which landscaping for new construction and landscaping for a property that is being redeveloped is designed, installed, and maintained. These regulations are intended as a guide for the design of landscape that contributes to the quality of life for residents, improves the appearance and value of properties and lessens the impact of high-intensity users on surrounding properties, particularly residential areas.

**Commission** voiced concerns over not allowing stone as ground cover for parking islands. Commissioners stated mulch tends to wash away during heavy rain, get trampled on from people using the island as a cut thru and spill over into the parking lot from shopping carts being anchored on the curb. The more the vegetation the better.

**Chief Hess** if we see a habitual pattern where the business is not maintaining the island, this can be addressed through a maintenance issue.

**Village Manager** stated the purpose of the updated language is to improve what we have. There is a lot of hardscape within the Village and not enough green space. As a new development comes and a new parking lot is put in place, we want to soften that parking lot and beautify it. The use of stone creates more of a hardscape.

**Consultant Savoy** suggested he meet with his landscape architects to see if they can come up with a standard. Grasses are very resilient. Ground cover is difficult to maintain. We want to come up with some livable standard.

**Following a discussion, this Commission directed staff to address:**

**Division 2.4 (3) Landscape Plan Requirements** - In addition to a construction erosion control plan, add a stormwater pollution protection plan.”

**Division 2.5 (a) Planting Design and Preservation Criteria** – Add prohibiting the planting of thorny trees and/or bushes.

**Division 2.5 (b) Planting Design and Preservation Criteria** - In addition to the Zoning Administrator having authority to determine the preservation of trees, add Village Forrester (confirm title) or designee.

**Division 2.7 b (3) Requirements for Off-Street Parking Lots** – Consultant to meet with his landscape architects to determine standard practice.

**Division 2.10 b. (1) Landscaping and Screening of Ground Mounted Mechanical and Utility Equipment** - Consider removing the word “solid” screen and add a percentage of “opaque” screening to obscure ground mounted mechanical equipment from view of all adjacent streets.

**Division 2.10 e. (1b) Landscape Maintenance Required** - Replace “120” days with “30” days to replace plantings after notification by the Village.

**Division 2.11 c. (1a) Tree Preservation During Construction** – Reword for clarity.

**10. ADJOURNMENT:**

Motion by Commissioner Berthelot, seconded by Commissioner Neil.

Voice Vote:

All AYES.

**Motion Carried.** Meeting adjourned at 8:55 p.m.

**Recorded and Transcribed by:**

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**Regina Mullen, Secretary**  
**this 11<sup>th</sup> day of July, 2013**

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**Virginia Wachsmuth, Chairperson**



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## VILLAGE OF HANOVER PARK DEVELOPMENT COMMISSION WORKSHOP

Municipal Building, Village Board Room 214  
2121 W. Lake Street  
Hanover Park, IL 60133

Wednesday, August 8, 2013  
6:30 p.m.

### MINUTES

#### 1. CALL TO ORDER: ROLL CALL

Chairperson Wachsmuth called the Workshop to order at 6:35 p.m.

<b>PRESENT:</b>	Commissioners:	Jim Aird, Arthur Berthelot, Scot Neil, Gary Rasmussen, Marc Mercier (7:30 p.m.), Chairperson Virginia Wachsmuth
<b>ABSENT:</b>	Commissioners:	Patrick Watkins
<b>ALSO PRESENT:</b>		Village Manager Juliana Maller, Planner Katie Bowman, Inspectional Services Chief Ann Marie Hess, Recording Secretary Regina Mullen, Konstantine Savoy of Teska Associates; 627 Grove Street, Evanston, IL 60201-4474

#### 2. PLEDGE OF ALLIEGENCE:

#### 3. ACCEPTANCE OF AGENDA:

Motion to Commissioner Berthelot, seconded by Commissioner Neil.

**Voice Vote:**

**All AYES.**

**Motion Carried:** Agenda Accepted.

**4. APPROVAL OF MINUTES:**

- a. January 17, 2013 - Motion by Commissioner Berthelot, seconded by Commissioner Neil
- b. April 10, 2013 – Motion by Commissioner Berthelot, seconded by Commissioner Rasmussen.

**Voice Vote:**

**All AYES.**

**Motions Carried:** Minutes Approved - January 17 and April 10, 2013.

**5. DISCUSSION TOPICS:**

Unified Development Ordinance (UDO) Update Review

- Sign Regulations
- Design Guidelines

**Chairperson Wachsmuth** stated the Commission will be discussing updates to Sign Regulations and Design Guidelines of the UDO.

**Village Planner Bowman** gave a brief introduction of the topics for discussion.

**Sign Regulations**

**Village Planner Bowman** focused on recommended changes/updates noted on the Draft Sign Regulation Section included within the Agenda Item.

**Commissioners** held a discussion with minor recommendations to staff.

**Design Guidelines**

**Village Planner Bowman** focused on recommended changes/updates noted in the Design Guidelines Section included within the Agenda Item.

**Consultant Savoy** stated the Design Guidelines are directly imported out of the Comprehensive Plan that has been codified.

**Commissioners** held a discussion with minor recommendations to staff.

**Village Planner Bowman** stated all changes will be made and presented to the Commission in summary format.

**Chairperson Wachsmuth** requested an update on the property at 900 E. Irving Park Road.

**Village Planner Bowman** stated the property owner of 900 E. Irving Park Road has applied for a permit to demolish the existing building. Notification will be provided to all residents living within 100 feet of the site prior to demolition. The building, foundation and parking lot fixtures will be demolished with the parking lot remaining. There is a party interested in doing a redevelopment of mixed residential and commercial on the site. If, after six months, the development is not proceeding sufficiently, the Village may require that the owner demolish the parking lot. Jersey barriers will block entrances on to the site.

**10. ADJOURNMENT:**

Motion by Commissioner Rasmussen, seconded by Commissioner Aird.

Voice Vote:

All AYES.

**Motion Carried.** Meeting adjourned at 8:35 p.m.

**Recorded and Transcribed by:**

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**Regina Mullen, Secretary**  
**this 8<sup>th</sup> day of August, 2013**

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**Virginia Wachsmuth, Chairperson**



**Village of Hanover Park  
Community Development Department**

**INTEROFFICE MEMORANDUM**

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**TO:** Chairman Wachsmuth and members of the Development Commission

**FROM:** Katie Bowman, Village Planner

**SUBJECT:** **Special Use and Variance for AT&T at Seafari Springs Park**

**ACTION**

**REQUESTED:**  Approval  Disapproval  Information

**MEETING DATE:** **November 14, 2013**

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**REQUEST SUMMARY**

The following request is scheduled for Development Commission review at 7:00 p.m. on November 14, 2013 in Room 214 of the Municipal Building, 2121 Lake Street.

A request by Adam McCabe on behalf of AT&T Mobility (applicant) on behalf of the Hanover Park Park District (property owner) for a Special Use and Variance from the Village of Hanover Park Zoning Ordinance to allow installation of a service pole for a new wireless communications facility (non-village-owned utility) at the existing Seafari Springs Aquatic Center facility, at 1700 Greenbrook Boulevard, Hanover Park, Illinois. Specifically, the following items must be approved:

- Special Use from Section 110-5.4.3.f, to permit a non-village-owned utility or facility
- Variance from Section 110-6.6.1.k, to permit a 90 foot antenna, a 30 foot variance from the maximum 60 foot antenna height

**BACKGROUND**

In 2011, T-Mobile applied for a Special Use and Variance for the construction of a 90 foot flag-pole-style wireless tower and associated equipment at the Seafari Springs pool facility. The Development Commission recommended approval of the request, and the Village Board approved, the request at that time. However, following approval the applicant determined that they were not going to pursue construction of the tower. At this time, AT&T proposes to construct a tower at this location with a similar dimensions and design as that which was previously approved.

The subject property is located on the north side of Greenbrook Boulevard, northeast of County Farm Road. The property is currently improved with the Hanover Park Park District's Seafari Springs pool facility. The parcel is zoned R-2 Single Family Residential. Parcels to the north and east are zoned R-2 Single Family Residential, parcels to the south are zoned R-4 Multi-

Family Residential, and the parcel to the west in an unincorporated commercial property (Hoelterhoff's Nursery).

The existing property includes a pool and recreational area, service buildings, parking lot, and lawn and detention areas. Evergreen landscaping, berms, and fencing are located along the perimeter of the property. The proposed area of work is serviced by an existing drive aisle. See Exhibit 1 for photos of the site.

## **DISCUSSION**

The applicant proposes to construct a wireless communication tower with the appearance of a flag pole on the Seafari Springs Aquatic Center property. The tower will be located in the western portion of the site, north of the parking lot. The tower is proposed to be 90 feet in height, with an American flag flown at the top. Antennae will be located within the pole so as to minimize bulk and visual impact. The tower will be surrounded by accompanying equipment located on concrete pads, which will be enclosed within an approximately 6 foot tall white vinyl privacy fence. The 30 foot by 30 foot (90 square feet) enclosed lease area will be surrounded by evergreen tree landscaping. The tower will be accessed by a 15 foot wide access easement through the existing drive aisle and utilities serviced through an 8 foot utility easement (See Exhibit 2).

The tower is proposed to take on the appearance of a flag pole in an effort to reduce its visual appearance and impact. The applicant has provided photo simulations of the view of the tower from neighboring properties to further illustrate its final appearance (See Exhibit 2).

In order to construct the proposed wireless communications tower, the applicant is requesting approval of a Special Use and a Variance. The property currently has Special Use approval for the Seafari Springs public facility. Non-village-owned facilities are permitted within the R-2 Single Family Residential district with Special Use approval. A Variance of 30 feet is also required to allow for an antenna with a height of 90 feet. Bulk regulations (Section 110-6.1.2.g) state that freestanding, ground mounted antennas are not to exceed 60 feet in height.

The applicant proposes to construct a wireless communications facility in order to provide additional AT&T service that is needed in the surrounding area. An analysis of AT&T coverage in the area indicates how a new tower will alleviate a coverage gap in the area (See Exhibit 3). The applicant finds the proposed site to be the most appropriate and least impactful site in the area available to serve the demonstrated service need. They argue that the site suitable because it provides sufficient setback from neighboring properties, is screened by surrounding trees, and is located on public property owned by the Hanover Park Park District.

## **STAFF COMMENT**

Aside from height requirements, the proposed development meets all current bulk regulations per the Village Code. In keeping with industry standards, the tower is set back at a distance greater than the tower height. Proposed setbacks are approximately 95 feet on the west side, 602 feet on the east side, 200 feet on the rear (north), and 320 feet on the front (south). Required setbacks

for accessory structures are 10 feet to the rear, 5 feet to the side and 10 feet from any structures. Access is to be provided by the existing drive aisle and no new curb cuts or paving are proposed. Coverage of the lot is well below the permitted 35% in the R-2 Single Family Residential district and the proposed equipment enclosure will not add significant coverage.

The proposed use is in keeping with the planned use of the site and goals of the Village. The Comprehensive Plan identifies the subject property as a park and open space area. Additionally, Objective 3.3.2 of the Community Facilities and Public Infrastructure Plan states that the Village should “monitor the capacity and demands of municipal services and facilities (e.g. water, sewer, stormwater, police, fire, telecommunications, and general government) and improve or expand upon them as necessary.”

The applicant has requested a Special Use and Variance based upon the unique requirements of a telecommunications facility in which the physical location has a direct impact upon the operation of such use and the ability of the business to successfully function. Also, the additional height above the permitted 60 feet is requested in order to provide full service to the area. The applicant finds that if the tower is constructed at a lower height, additional towers may be required to provide full service in the area. They argue that relief of this hardship will not cause substantial detriment to the surrounding properties or the character of the district.

As outlined in the attached findings, Staff generally finds that the request meets the required findings of a Special use and variance. As conditioned, the proposed special use is in keeping with existing uses onsite and may not be found to bring negative impact to surrounding properties or general health and welfare. The use will require no new traffic access or utilities to the site. The site is large with significant setbacks from surrounding properties and there are a limited number of adjacent residences.

However, staff recommends several conditions of approval which may further reduce the impact of the proposed wireless telecommunications tower:

- To lessen the visual impact, a wood fence may be installed around the tower, rather than the white vinyl fence currently proposed.
- To avoid the loss of existing trees to the west of the proposed service area, the fence and associated equipment may be moved to the east several feet.
- To lessen the impact of towers in the area, it may be required that additional wireless carriers be permitted use of the tower, as space is available.

When a similar proposal was considered, the Development Commission also recommended several additional conditions, which may be considered at this time:

- That the flag be flown on the pole at all times during daytime hours, and if it were to be flown at night, appropriate lighting should be installed.
- That a protective barrier be installed between the facility and the parking lot, which may be addressed with protective bollards.
- The Development Commission also discussed whether a service building, similar to that installed at Village owned tower sites be required at this location. The Commission’s final recommendation was not to require the building at that time.

## **RECOMMENDATION**

Staff recommends a positive recommendation of the Special Use Amendment and Variance subject to the following conditions:

1. Uses are to be as generally depicted on the site plans and elevations prepared September 13, 2013 by W-T Communication Design Group, LLC, except as amended below. Final design and material details are to be approved by the Community & Economic Development Department. Plan amendments shall include:
  - a. The location of the service area shall be moved to the east as feasible to avoid the loss of existing trees to the extent possible.
  - b. Fencing material is to be solid wood with a height of 6 feet.
  - c. A protective barrier shall be installed between the wireless facility and adjacent parking lot to the south, with final design details to be approved
2. The applicant shall maintain all new landscaping to be installed, as depicted on the site plan prepared September 13, 2013 by W-T Communication Design Group, LLC.
3. Additional wireless carriers must be permitted to place equipment on the tower, as space and technical requirements allow.
4. An American flag must be flown on the pole at all times during daytime hours. If the flag is flown at night, it must be lit in conformance with standard practices.
5. No signs are approved as part of this request.
6. No outdoor display, sales, or storage of materials is permitted on this site.

## **ATTACHMENTS**

Exhibit 1 – Photos of Site

Exhibit 2 – Site Plan, Elevations, and supporting documents

Exhibit 3 – Photo Simulations

Exhibit 4 – Propagation Maps

Exhibit 5 – Draft Findings of Fact

# Exhibit 1 - Site Photos – 1700 Greenbrook Boulevard

## Site Location



Site Looking North



Site Looking Far North to Adjacent Residences



Site Looking East



Site Looking West



**PROJECT INFORMATION**

**APPLICANT:** AT&T MOBILITY  
930 NATIONAL PKWY, 4TH FLOOR  
SCHAUMBURG, IL 60173

**SITE ADDRESS:** 1700 GREENBROOK BOULEVARD  
HANOVER PARK, IL 60133  
DUPAGE COUNTY

**LANDLORD CONTACT:** HANOVER PARK DISTRICT  
SEAFARI SPRINGS  
1700 GREENBROOK BOULEVARD  
HANOVER PARK, IL 60133  
CONTACT: BOB O'BRIEN  
PH: (630) 837-2468 EXT. 117

**JURISDICTION:** VILLAGE OF HANOVER PARK

**ZONING:** R-2

**LATITUDE:** 41° 58' 29.2404" NAD 83

**LONGITUDE:** -88° 08' 54.8874" NAD 83

**EMERGENCY CONTACT:** TBD  
PH: TBD

**ACCESS CONTACT:** TBD  
PH: TBD

**ESH ADDRESS:** 1700 GREENBROOK BOULEVARD  
HANOVER PARK, IL 60133 (TEMP E911)

**PARCEL NUMBER:** 01-01-410-035-0000

**COUNTY:** DUPAGE COUNTY

**PROPOSED USE:** NEW TELECOMMUNICATIONS FACILITY

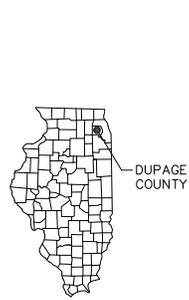
**ELEVATION (AMSL):** 815'

**POWER COMPANY:** COMED  
PH: (866) 639-3532

**TELEPHONE COMPANY:** AT&T  
PH: (800) 257-0902

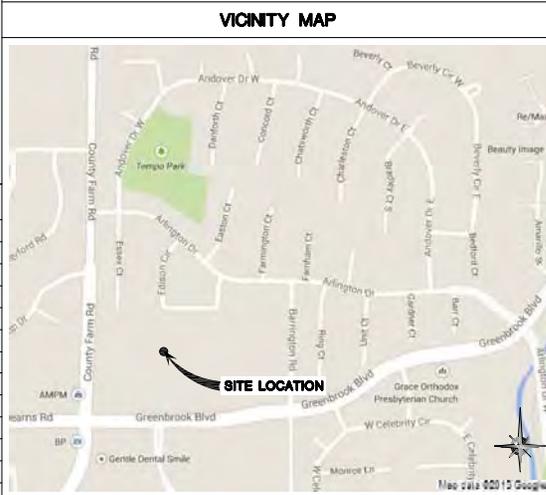
**SHEET INDEX**

SHEET NUMBER	DESCRIPTION
IL0780-T1	TITLE SHEET
IL0780-N1	NOTES
IL0780-N2	NOTES
IL0780-C1	OVERALL SITE PLAN
IL0780-C2	ENLARGED SITE PLAN
IL0780-C3	GRADING PLAN
IL0780-C4	GEOMETRIC SITE PLAN
IL0780-C5	EQUIPMENT ELEVATIONS
IL0780-C6	CONCRETE PAD DETAILS
IL0780-C7	ICE BRIDGE AND YARD DETAILS
IL0780-C8	FENCE DETAILS
IL0780-C9	GENERATOR CONCRETE PAD DETAILS
IL0780-L1	LANDSCAPING SITE PLAN
IL0780-L2	LANDSCAPING DETAILS
IL0780-A1	TOWER ELEVATION & ANTENNA PLAN
IL0780-A2	ANTENNA INFORMATION CHART
IL0780-E1	UTILITY PLAN
IL0780-E2	UTILITY DETAILS
IL0780-E3	ALARM TERMINATION DIAGRAM
IL0780-GR1	GROUNDING PLAN
IL0780-GR2	GROUNDING DETAILS



**SITE NAME: IL0780-HANOVER PARK**  
**SITE NUMBER: IL0780**  
**FA CODE: 12565570**

**INSTALL (6) NEW AT&T ANTENNAS ON NEW 90'-0" STEALTH FLAGPOLE AND NEW OUTDOOR EQUIPMENT WITH GENERATOR INSTALLED WITHIN NEW FENCED COMPOUND**



**DRIVING DIRECTIONS**

DEPART CHICAGO O'HARE INTERNATIONAL AIRPORT ONTO I-190 E. TAKE EXIT 1D TOWARD I-294 S/INDIANA/S TOLLWAY. MERGE ONTO I-294 S. TAKE THE EXIT ONTO I-290 W TOWARD US-20/IL-64/ROCKFORD. TAKE EXIT 7 FOR US-20 TOWARD LAKE STREET. FOLLOW SIGNS FOR BLOOMINGDALE AND MERGE ONTO US-20 W/W LAKE STREET. MERGE ONTO US-20 W/W LAKE STREET. TURN LEFT ONTO GREENBROOK BOULEVARD. DESTINATION WILL BE ON THE RIGHT. ARRIVE AT 1700 GREENBROOK BOULEVARD, HANOVER PARK, IL 60133.

**AT&T APPROVALS**

SITE ACQUISITION MANAGER	DATE	MASTEC COMPLIANCE MANAGER	DATE
MASTEC CONSTRUCTION MGR.	DATE	AT&T RF PROJECT MANAGER	DATE
MASTEC SA PROJECT MANAGER	DATE	AT&T PROJECT MANAGER	DATE
MASTEC SA SPECIALIST	DATE		

THESE DRAWINGS ARE PREPARED BASED ON RFDS DATED: PENDING REVISION: V01 GENERAL CONTRACTOR TO VERIFY AND INCORPORATE MOST RECENT VERSION OF RFDS WITH "MASTEC" PRIOR TO CONSTRUCTION

**APPLICABLE BUILDING CODES AND STANDARDS**

SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN

SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:

- AMERICAN CONCRETE INSTITUTE (ACI) 318: BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
- AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC): MANUAL OF STEEL CONSTRUCTION (ASD), NINTH EDITION
- TELECOMMUNICATIONS INDUSTRY ASSOCIATION TIA/EIA-222-F: STRUCTURAL STANDARDS FOR STEEL, ANTENNA, TOWER AND ANTENNA SUPPORTING STRUCTURES
- TIA 607: COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS
- INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81: GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM
- (IEEE) 1100: (1999) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING OF ELECTRONIC EQUIPMENT
- (IEEE) C82.41: RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY "C3" AND "HIGH SYSTEM EXPOSURE")
- TELECORDIA GR-1275, GENERAL INSTALLATION REQUIREMENTS
- TELECORDIA GR-1503, COAXIAL CABLE CONNECTIONS
- ANSI T1.311, FOR TELECOM - DC POWER SYSTEMS - TELECOM, ENVIRONMENTAL PROTECTION

FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

EQUIPMENT AREA IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS AND PLUMBING FACILITIES ARE NOT REQUIRED.

BUILDING CODE: INTERNATIONAL BUILDING CODE 2006  
ELECTRIC CODE: NATIONAL ELECTRICAL CODE 2005

**DESIGN TEAM**

TEAM	NAME	COMPANY	NUMBER
A/E	JEFF WORMAN	W-T COMMUNICATION DESIGN GROUP, LLC	(224) 293-6408
REAL ESTATE	ADAM MCCABE	ACMB	(773) 551-1051
RF	DORU BUCUR	AT&T	(847) 762-2259
PM	SUE BILLINGS	MASTEC	(847) 463-5928
A&E PM	MANUEL FERRA	MASTEC	(847) 463-5912
REGULATORY	LAURA PYLE	MASTEC	(847) 463-5912
CM	NICK STAPLETON	MASTEC	(866) 545-1782

**W-T Communication Design Group's Commitment to Quality**

Please take a few moments to fill out our online survey.

3100 TOLLVIEW DRIVE  
ROLLING MEADOWS, IL 60008  
OFFICE: (847) 970-8073

**W-T COMMUNICATION DESIGN GROUP, LLC.**  
WIRELESS INFRASTRUCTURE

2875 Prater Avenue  
Hoffman Estates, Illinois 60132  
PH: (224) 293-6333 FAX: (224) 293-6444  
www.wtgroup.com

IL License No: 194-096942 Exp: 04/30/15

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CARRISA WENDT, RA  
LICENSED ARCHITECT  
STATE OF ILLINOIS  
LICENSE # 001-020898

EXPIRES: 11/30/14 SIGNED: / /

**IL0780-HANOVER PARK**  
**IL0780**

1700 GREENBROOK BLVD.  
HANOVER PARK, IL 60133  
DUPAGE COUNTY

930 NATIONAL PARKWAY  
4TH FLOOR  
SCHAUMBURG, IL 60173

PROJECT NUMBER	TT130376				
DRAWING TITLE	TITLE SHEET				
DRAWING NUMBER	IL0780-T1				
NO.	DATE	90% REVIEW	BS	JW	PMA
SCALE:	AS SHOWN	DESIGNED BY: PMA	DRAWN BY: BS	BY	CHK APP'D

PROJECT NUMBER	TT130376
DRAWING TITLE	TITLE SHEET
DRAWING NUMBER	IL0780-T1

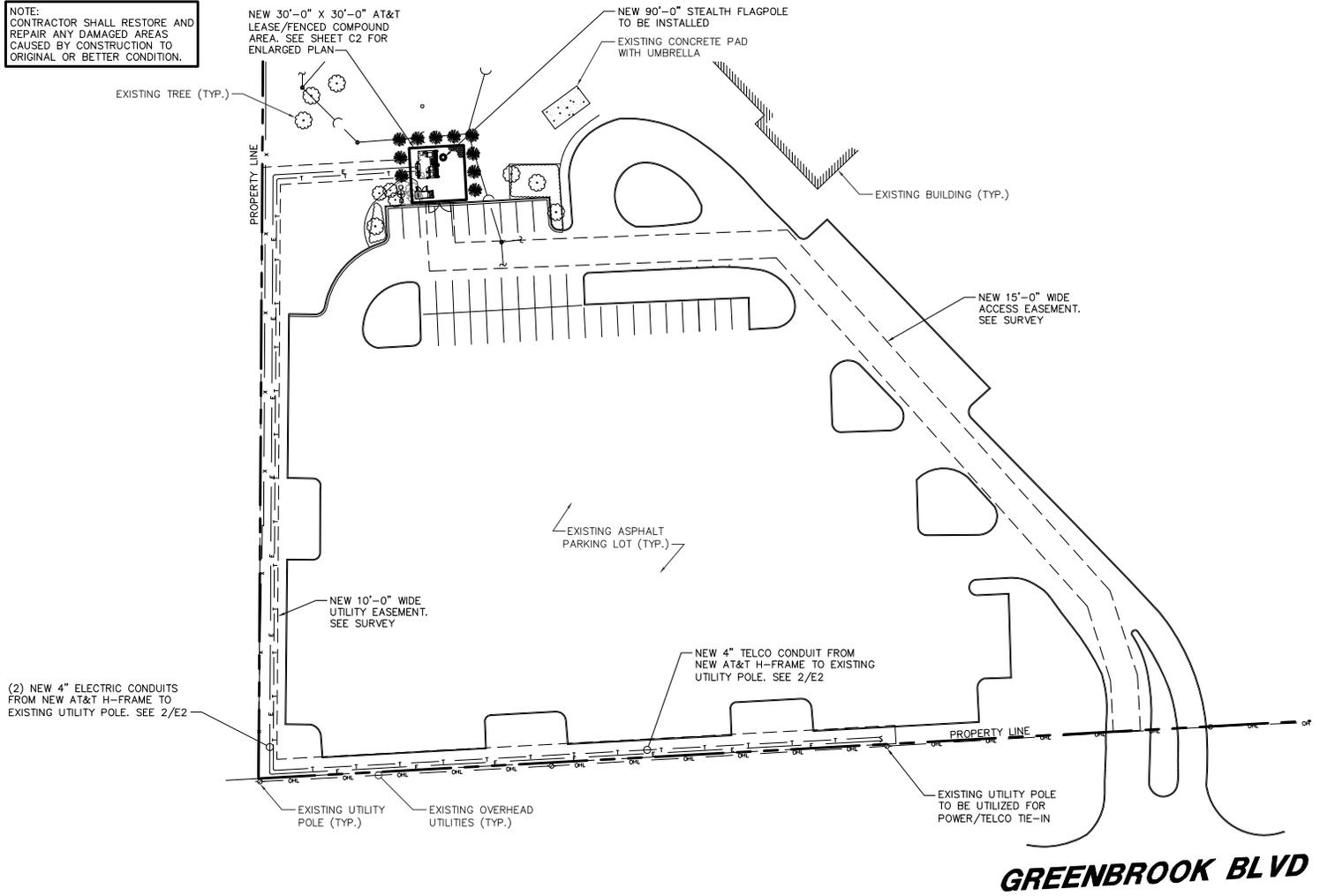


**AERIAL VIEW**  
SCALE: NONE



**SITE PHOTO**  
SCALE: NONE

NOTE:  
CONTRACTOR SHALL RESTORE AND REPAIR ANY DAMAGED AREAS CAUSED BY CONSTRUCTION TO ORIGINAL OR BETTER CONDITION.



**1 OVERALL SITE PLAN**  
SCALE: 1" = 60'-0"  
NORTH



3100 TOLLVIEW DRIVE  
ROLLING MEADOWS, IL 60008  
OFFICE: (847) 870-8073



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**IL0780-HANOVER PARK**  
IL0780

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DUPAGE COUNTY

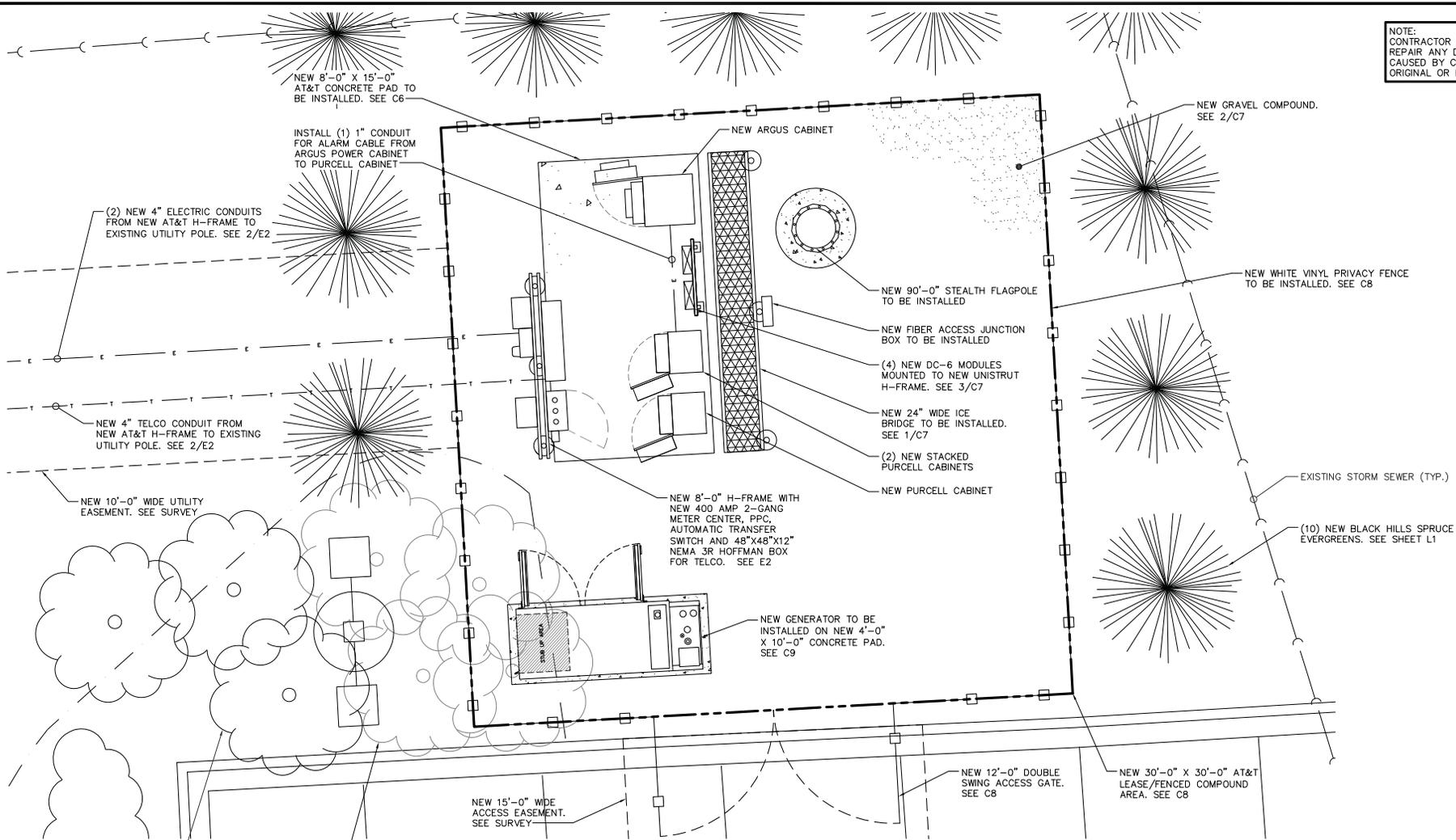


930 NATIONAL PARKWAY  
4TH FLOOR  
SCHAUMBURG, IL 60173

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A	09/13/13	90% REVIEW	BS	JW	PMA
SCALE: AS SHOWN		DESIGNED BY: PMA	DRAWN BY: BS		

PROJECT NUMBER	TT130376
DRAWING TITLE	<b>OVERALL SITE PLAN</b>
DRAWING NUMBER	<b>IL0780-C1</b>

NOTE:  
CONTRACTOR SHALL RESTORE AND  
REPAIR ANY DAMAGED AREAS  
CAUSED BY CONSTRUCTION TO  
ORIGINAL OR BETTER CONDITION.



**1 ENLARGED SITE PLAN**  
SCALE: 1" = 5'-0"  
NORTH



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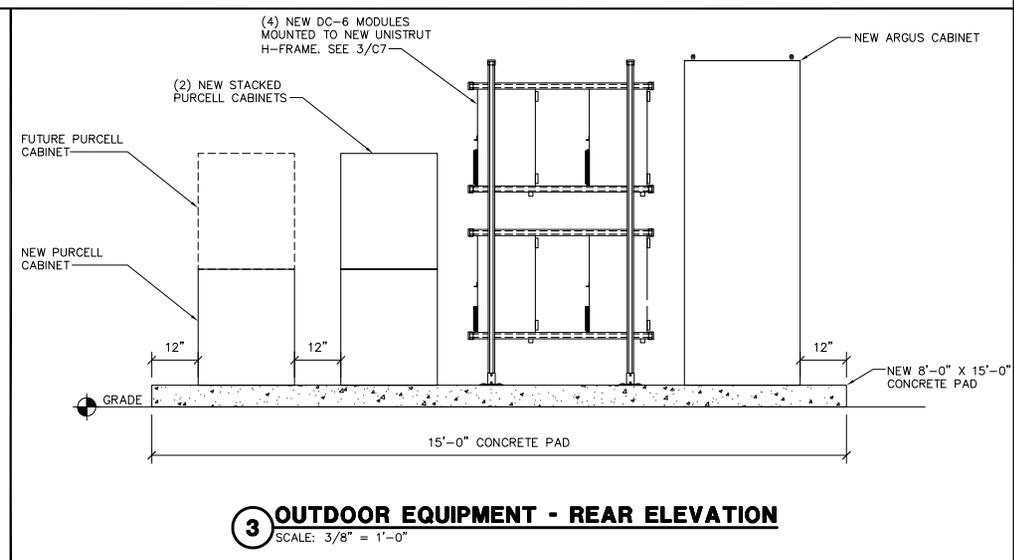
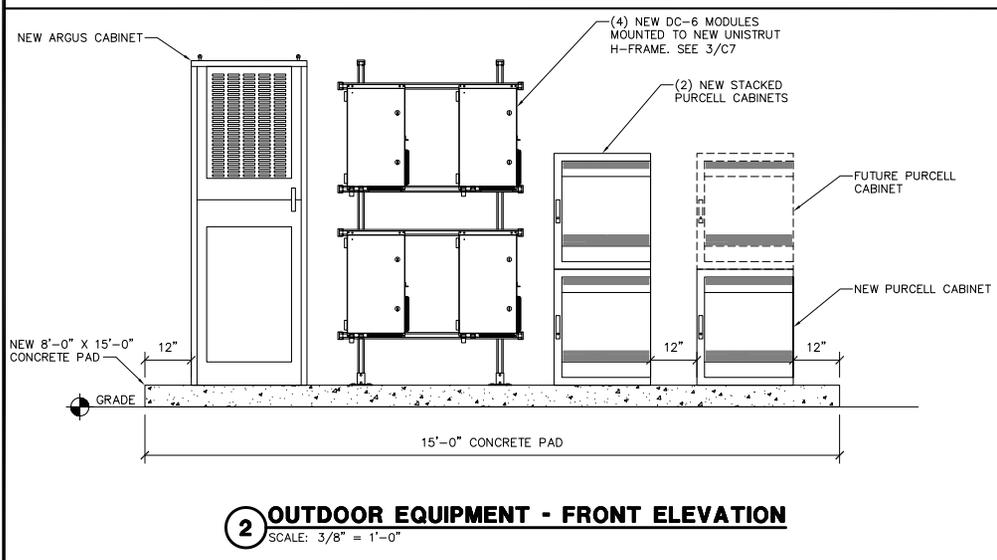
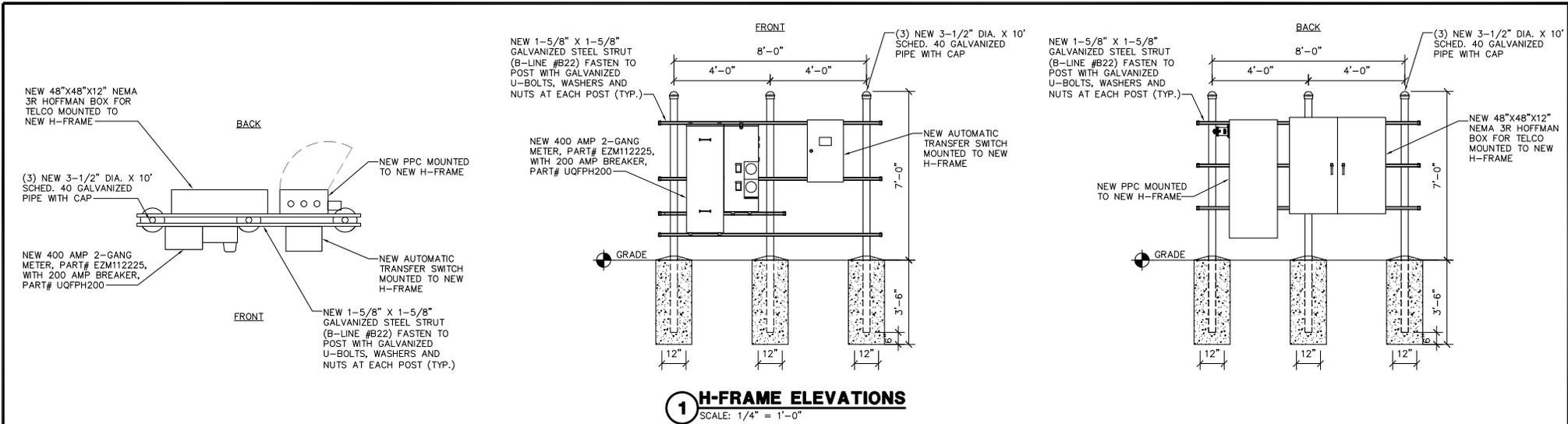
**IL0780-HANOVER  
PARK  
IL0780**

1700 GREENBROOK BLVD.  
HANOVER PARK, IL 60133  
DUPAGE COUNTY

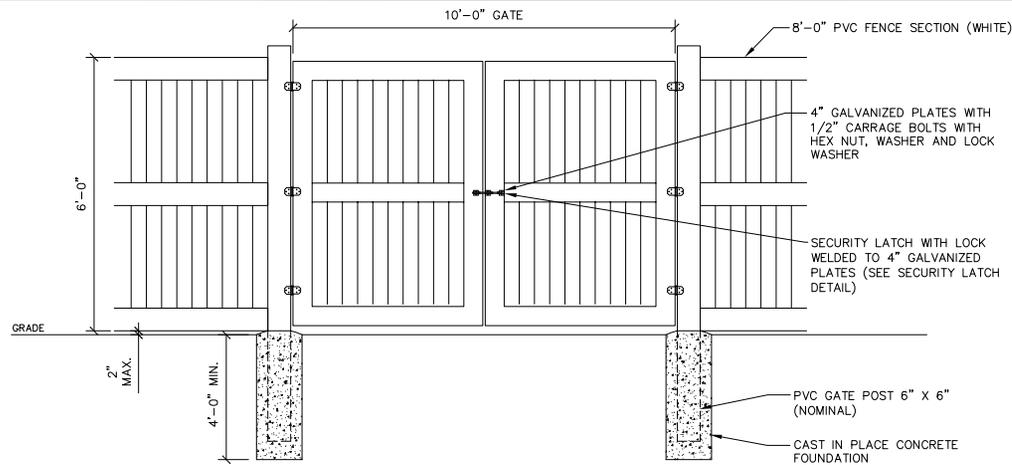


930 NATIONAL PARKWAY  
4TH FLOOR  
SCHAMBURG, IL 60173

PROJECT NUMBER		TT130376	
DRAWING TITLE		ENLARGED SITE PLAN	
DRAWING NUMBER		IL0780-C2	
A	09/13/13	90% REVIEW	BS JW PMA
NO.	DATE	REVISIONS	BY CHK APP'D
SCALE: AS SHOWN		DESIGNED BY: PMA	DRAWN BY: BS

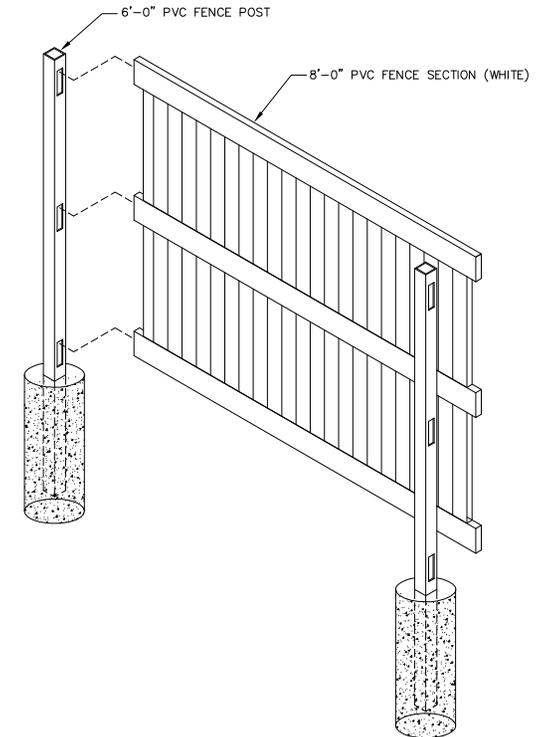


<p>3100 TOLLVIEW DRIVE ROLLING MEADOWS, IL 60008 OFFICE: (847) 870-8073</p>	<p><b>W-T COMMUNICATION DESIGN GROUP, LLC.</b> WIRELESS INFRASTRUCTURE</p> <p>2675 Prater Avenue Hoffman Estates, Illinois 60132 PH: (224) 293-6333 FAX: (224) 293-6444 www.wtgroup.com</p> <p>IL License No: 194-095942 Exp: 04/30/15</p>	<p>CARISSA WENDT, RA LICENSED ARCHITECT STATE OF ILLINOIS LICENSE # 001-020898 EXPIRES: 11/30/14 SIGNED: / /</p>	<p><b>IL0780-HANOVER PARK</b> IL0780</p> <p>1700 GREENBROOK BLVD. HANOVER PARK, IL 60133 DUPAGE COUNTY</p>	<p>930 NATIONAL PARKWAY 4TH FLOOR SCHAUMBURG, IL 60173</p>	<p>PROJECT NUMBER TT130376</p>	<p>DRAWING TITLE <b>EQUIPMENT ELEVATIONS</b></p>	<p>DRAWING NUMBER <b>IL0780-C5</b></p>					
					<table border="1"> <tr> <td>A</td> <td>09/13/13</td> <td>90% REVIEW</td> <td>BS</td> <td>JW</td> <td>PMA</td> </tr> <tr> <td>NO.</td> <td>DATE</td> <td>REVISIONS</td> <td>BY</td> <td>CHK</td> <td>APP'D</td> </tr> </table> <p>SCALE: AS SHOWN DESIGNED BY: PMA DRAWN BY: BS</p>	A	09/13/13	90% REVIEW	BS	JW	PMA	NO.
A	09/13/13	90% REVIEW	BS	JW	PMA							
NO.	DATE	REVISIONS	BY	CHK	APP'D							

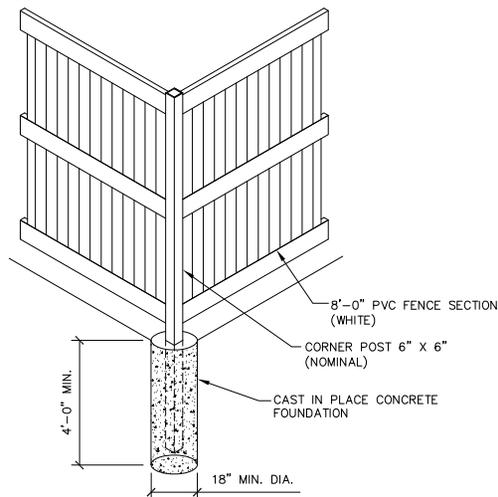


**1 GATE & FENCE ELEVATION**  
SCALE: NONE

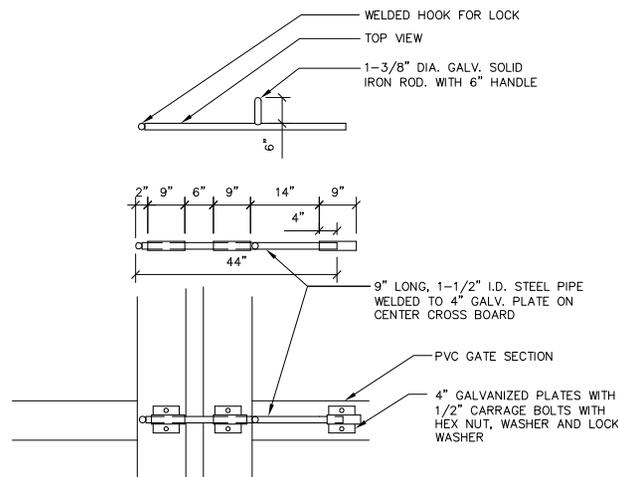
**NOTES:**  
1. GENERAL CONTRACTOR TO ENSURE NEW PVC FENCE IS WHITE IN COLOR  
2. FOR ALL PVC FENCE HARDWARE & INSTALLATION REQUIREMENTS CONSULT FENCE MANUFACTURER



**2 FENCE SECTION DETAIL**  
SCALE: NONE



**3 CORNER DETAIL**  
SCALE: NONE



**4 SECURITY LATCH DETAIL**  
SCALE: NONE



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**IL0780-HANOVER  
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HANOVER PARK, IL 60133  
DUPAGE COUNTY



930 NATIONAL PARKWAY  
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NO.	DATE	REVISIONS	BY	CHK	APP'D
A	09/13/13	90% REVIEW	BS	JW	PMA
SCALE: AS SHOWN		DESIGNED BY: PMA	DRAWN BY: BS		

PROJECT NUMBER  
TT130376  
DRAWING TITLE  
**FENCE DETAILS**

DRAWING NUMBER  
**IL0780-C8**



**SITE WORK GENERAL NOTES:**

ALL PLACEMENT OF LANDSCAPING SHALL MEET THE FOLLOWING CONDITIONS:

1. ALL PLANT MATERIAL SHALL BE PLANTED IN A MANNER WHICH IS NOT TO INTERFERE WITH OVERHEAD WIRES OR BE INTRUSIVE TO UTILITIES OR PAVEMENT.
2. NO TREES OR OTHER LANDSCAPING SHALL BE LOCATED CLOSER THAN 10 FEET TO A FIRE HYDRANT OR OTHER ABOVE GROUND UTILITIES.
3. NO LANDSCAPING SHALL INTERFERE WITH SITE REQUIREMENTS FOR SAFE INGRESS AND EGRESS.

INSTALLATION STANDARDS:

1. PLANT MATERIAL SHALL CONFORM WITH THE CURRENT AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN FOR THAT TYPE OF TREE OR SHRUB AT THE TIME OF INSTALLATION.
2. ALL TREES SHALL BE GROWN IN A NURSERY LOCATED IN THE STATE OF ILLINOIS.
3. ALL PLANT MATERIAL SHALL BE INSTALLED FREE OF DISEASE AND IN A MANNER THAT ENSURES THE AVAILABILITY OF SUFFICIENT SOIL AND WATER TO SUSTAIN HEALTHY GROWTH.
4. ALL TAGS, WIRES, PLASTIC TIES AND ROPE SHALL BE CUT FROM EACH TREE TO PREVENT GIRDLING OF THE TREE. THE BURLAP SHALL BE PULLED BACK FROM THE UPPER THIRD OF THE ROOTBALL. IF A PLASTIC 'BURLAP' IS USED, IT SHALL BE REMOVED IN ITS ENTIRETY FROM THE ROOTBALL.
5. ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF DEPTH OF THREE (3) INCHES OF MULCHED MATERIAL AND A DIAMETER OF THREE (3) FEET AROUND THE BASE OF THE TREE.
6. TREES SHALL BE STAKED WITH POSTS AND NOT STAKES IN AREAS OF HIGH WIND FOR ONE TO THREE YEARS TO ALLOW THE GROWTH OF PROPOSED ROOTS TO STABILIZE. ALL ROPES SHALL BE COVERED TO PREVENT CUTTING INTO THE BARK.
7. ANY EXCESS SOIL, CLAY, OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PLANTING SITE, PRIOR TO PLANTING OF INDIVIDUAL TREES AT FINAL GRADE.
8. THE JURISDICTION, AT ITS DISCRETION, HAS THE RIGHT TO RETAIN A PROFESSIONAL LANDSCAPE ARCHITECT OR ARBORIST TO REVIEW SUBMITTED LANDSCAPE PLAN AND THE PROFESSIONAL LANDSCAPE ARCHITECT OR ARBORIST WILL SUBMIT A WRITTEN REPORT TO THE PLANNING AND ZONING COMMISSION. ALL EXPENSES INCURRED BY THE JURISDICTION FOR THE USE OF THE LANDSCAPE ARCHITECT OR ARBORIST SHALL BE REIMBURSED BY THE DEVELOPER.

PLANTING SEASONS:

1. EVERGREEN PLANTS MUST BE PLANTED DURING THE FOLLOWING DATES: APRIL 1ST TO MAY 15TH AND SEPTEMBER 1ST TO OCTOBER 1ST
2. THE PLANTING PERIODS INDICATED MAY BE EXTENDED DUE TO WEATHER CONDITIONS OR OTHER FACTORS, WHICH MUST BE APPROVED BY THE LANDSCAPE ARCHITECT/ENGINEER.
3. THE CONTRACTOR WILL BE RELIEVED FOR HIS GUARANTEE RESPONSIBILITY SHOULD THE OWNER REQUIRE PLANT MATERIAL INSTALLATIONS TO BE COMPLETED DURING OTHER TIMES THAN THE PLANTING PERIODS INDICATED.

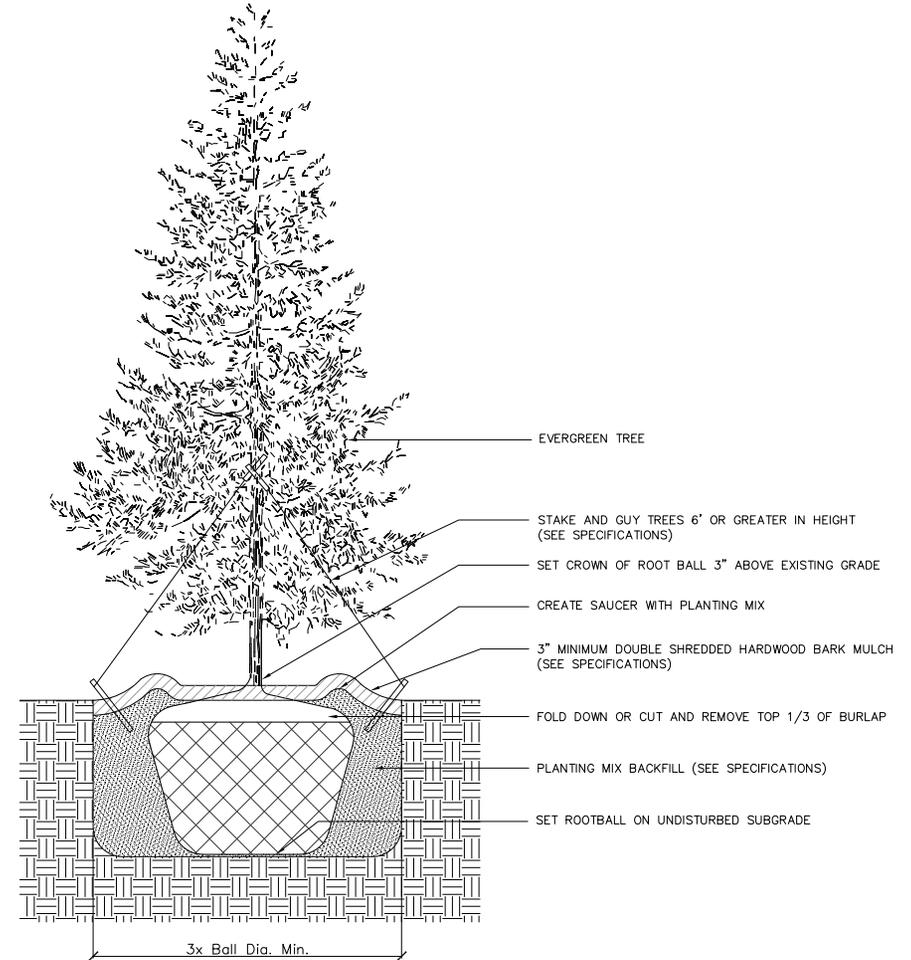
PLANTING:

1. ALL SHADE TREES, ORNAMENTAL TREES, EVERGREEN TREES AND SHRUBS SHALL BE PLANTED IN HOLES EXCAVATED AT LEAST 3x THE WIDTH OF THE DIAMETER OF THE BALL OR CONTAINER AND DEEP ENOUGH SO THAT THE TOP OF THE BALL OR SOIL IN THE CONTAINER IS AT OR JUST ABOVE EXISTING GRADE.
2. ALL TWINE OR ROPE MUST BE CUT AND REMOVED AND THE BURLAP FOLDED AWAY FROM THE TOP OF THE BALL. THE EXCAVATION MUST BE BACKFILLED WITH THE PLANTING MIXTURE AND WATERED. ANY SETTLEMENT WILL BE FILLED WITH PLANTING MIXTURE.
3. A 4" DEEP SAUCER, SIMILAR TO THE DIAMETER OF THE PLANTING HOLE SHALL BE CREATED USING PLANTING MIX.

CLEAN UP:

1. ALL DEBRIS GENERATED DURING THE INSTALLATION OF PLANT MATERIALS MUST BE REMOVED FROM THE SITE.
2. ALL PAVEMENTS AND WALKS MUST BE SWEEPED AFTER EACH DAYS WORK. UPON COMPLETION OF THE WORK, ALL PAVEMENTS MUST BE WASHED TO REMOVAL MUD OR DIRT.

LANDSCAPE CHART					
NO.	MATERIAL	SCIENTIFIC NAME	HT. AT INSTALL	SPACING	ROOT BALL
10	BLACK HILLS SPRUCE	PICEA GLAUCA 'DENSATA'	10'-15'	10'-0" O.C. MIN	B/B



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EXPIRES: 11/30/14 SIGNED: //

**IL0780-HANOVER  
PARK  
IL0780**

1700 GREENBROOK BLVD.  
HANOVER PARK, IL 60133  
DUPAGE COUNTY

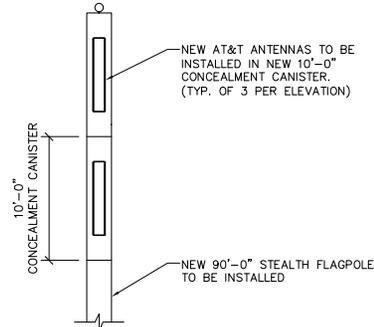


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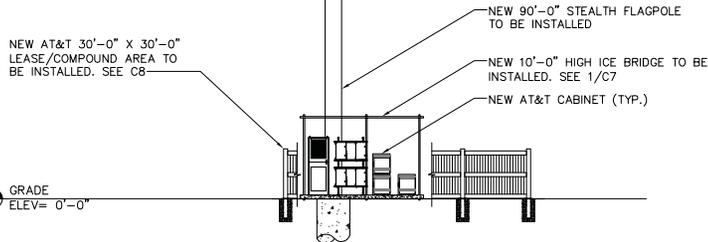
NO.	DATE	REVISIONS	BY	CHK	APP'D
A	09/13/13	90% REVIEW	BS	JW	PMA
SCALE: AS SHOWN DESIGNED BY: PMA DRAWN BY: BS					

PROJECT NUMBER TT130376
DRAWING TITLE <b>LANDSCAPING DETAILS</b>
DRAWING NUMBER <b>IL0780-L2</b>

- OVERALL HEIGHT/TOP OF LIGHTNING ROD  
ELEV= 90'-9"
- TOP OF TOWER  
ELEV= 90'-0"
- NEW AT&T ANTENNAS C  
ELEV= 85'-0"
- NEW AT&T ANTENNAS C  
ELEV= 75'-0"



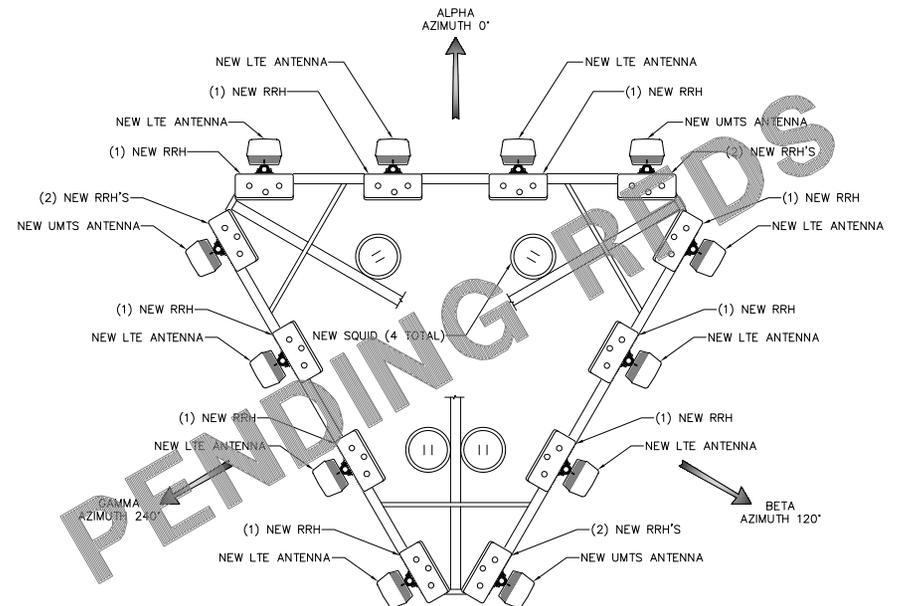
W-T'S SCOPE OF WORK DOES NOT INCLUDE A STRUCTURAL EVALUATION OF THIS TOWER OR STRUCTURE. NEW ANTENNAS AND EQUIPMENT SHOWN ON THIS PLAN HAVE NOT BEEN EVALUATED TO VERIFY THE TOWER OR STRUCTURE HAS THE CAPACITY TO ADEQUATELY SUPPORT THESE ANTENNAS. PRIOR TO ANY ANTENNA OR EQUIPMENT INSTALLATION, A STRUCTURAL EVALUATION OF THE TOWER OR STRUCTURE, INCLUDING ALL ANTENNA MOUNTING SYSTEMS & HARDWARE SHOULD BE PERFORMED.



**1 TOWER ELEVATION**  
SCALE: 1" = 15'-0"

**NOTES:**

1. ALL RF CABLE (JUMPER) LENGTHS SHALL BE WITHIN 9 FEET OF EACH OTHER ACROSS ALL SECTORS. FOR EXAMPLE, ALPHA SECTOR'S SHORTEST JUMPER IS 6 FEET IN LENGTH. THEREFORE, GAMMA SECTOR'S LONGEST JUMPER CAN BE NO MORE THAN 15 FEET LONG (6'+9'=15').
2. FOR SITES WHERE CSRF WILL BE IMPLEMENTED WITH EXISTING LTE EQUIPMENT, EXISTING RF JUMPER MAY BE RE-USED. INSTALLER SHALL MEASURE JUMPERS AND ENSURE LENGTHS COMPLY WITH NOTE 6.
3. ALL RF CABLE JUMPERS SHALL USE PRE-MADE JUMPERS WITH PRE-INSTALLED CONNECTORS ON BOTH ENDS.
4. ALL RF JUMPERS SHALL BE LDF OR LCF12 JUMPERS FROM APPROVED RF JUMPER CABLE MANUFACTURERS (ANDREW AND RFS).
5. RF JUMPER CONNECTORS SHALL BE INSTALLED WITH PROPER TORQUE AND WEATHERPROOFING.
6. JUMPERS SHALL HAVE RF SWEEP PERFORMED.
7. ALL FIBER CABLES SHALL BE OF THE SAME LENGTH FROM THE FIBER/DC SURGE PROTECTION BOX TO EACH RRH/RRU. ANY EXCESS FIBER SHOULD BE SPOOLED IN THE FIBER/DC SURGE PROTECTIONS BOX.
8. JUMPERS SHALL BE SUPPORTED AT INTERVALS NOT EXCEEDING 3 FEET.
9. DRAWING IS FOR REFERENCE ONLY. ROUTING IS DIAGRAMMATIC.



**2 ANTENNA PLAN**  
SCALE: NONE



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**IL0780-HANOVER  
PARK  
IL0780**

1700 GREENBROOK BLVD.  
HANOVER PARK, IL 60133  
DUPAGE COUNTY



930 NATIONAL PARKWAY  
4TH FLOOR  
SCHAUMBURG, IL 60173

A		09/13/13	90% REVIEW	BS	JW	PMA
NO.	DATE	REVISIONS		BY	CHK	APP'D
SCALE: AS SHOWN		DESIGNED BY: PMA		DRAWN BY: BS		

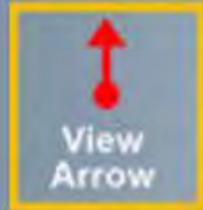
PROJECT NUMBER  
TT130376

DRAWING TITLE  
**TOWER ELEVATION &  
ANTENNA PLAN**

DRAWING NUMBER  
**IL0780-A1**

# IL0780 - Hanover Park

1700 Greenbrook Blvd  
Hanover Park, IL 60133



View  
Arrow

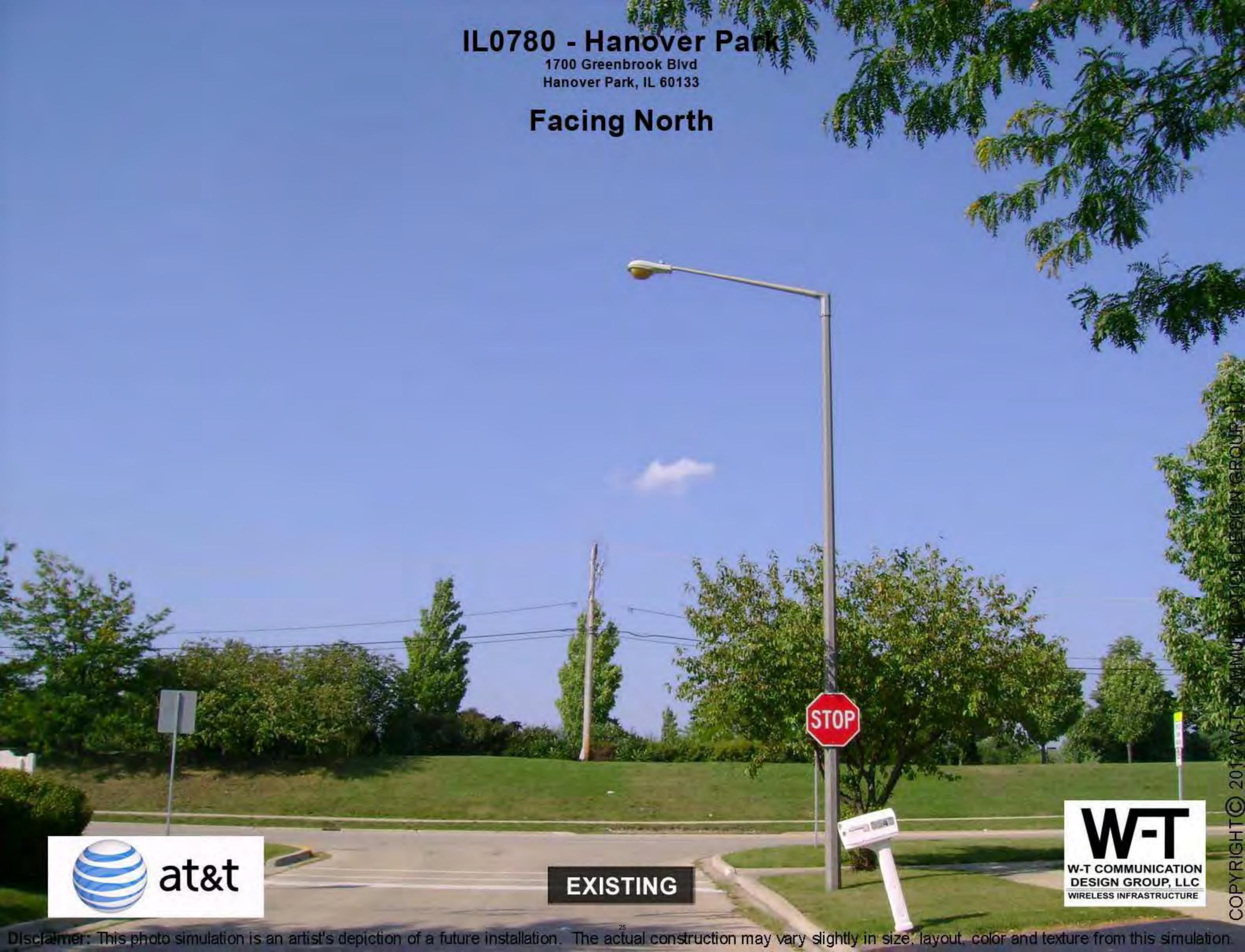


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# IL0780 - Hanover Park

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## Facing North



**EXISTING**



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# IL0780 - Hanover Park

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Hanover Park, IL 60133

## Facing North



**PROPOSED**



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# IL0780 - Hanover Park

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## Facing West

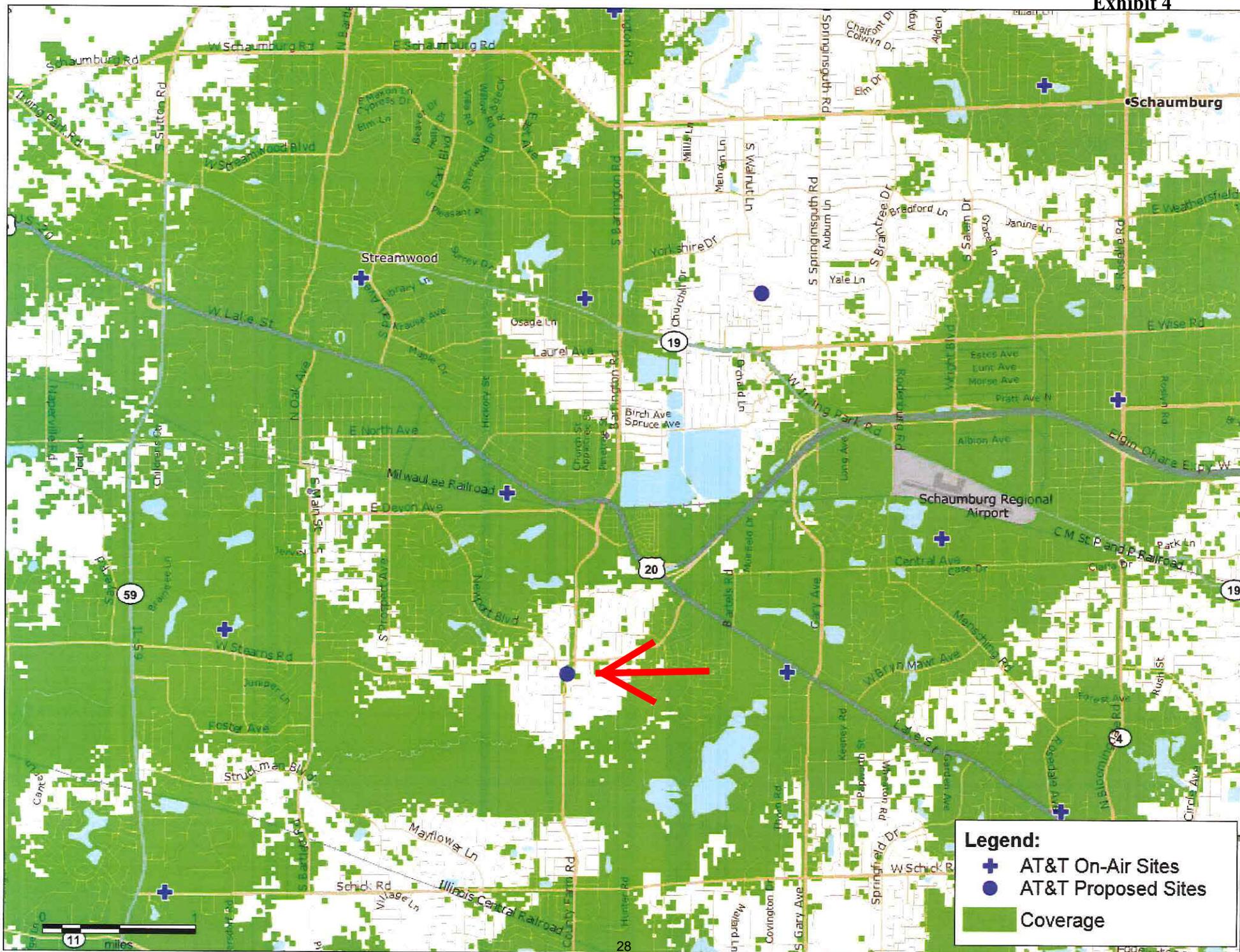


**NO VISUAL IMPACT**

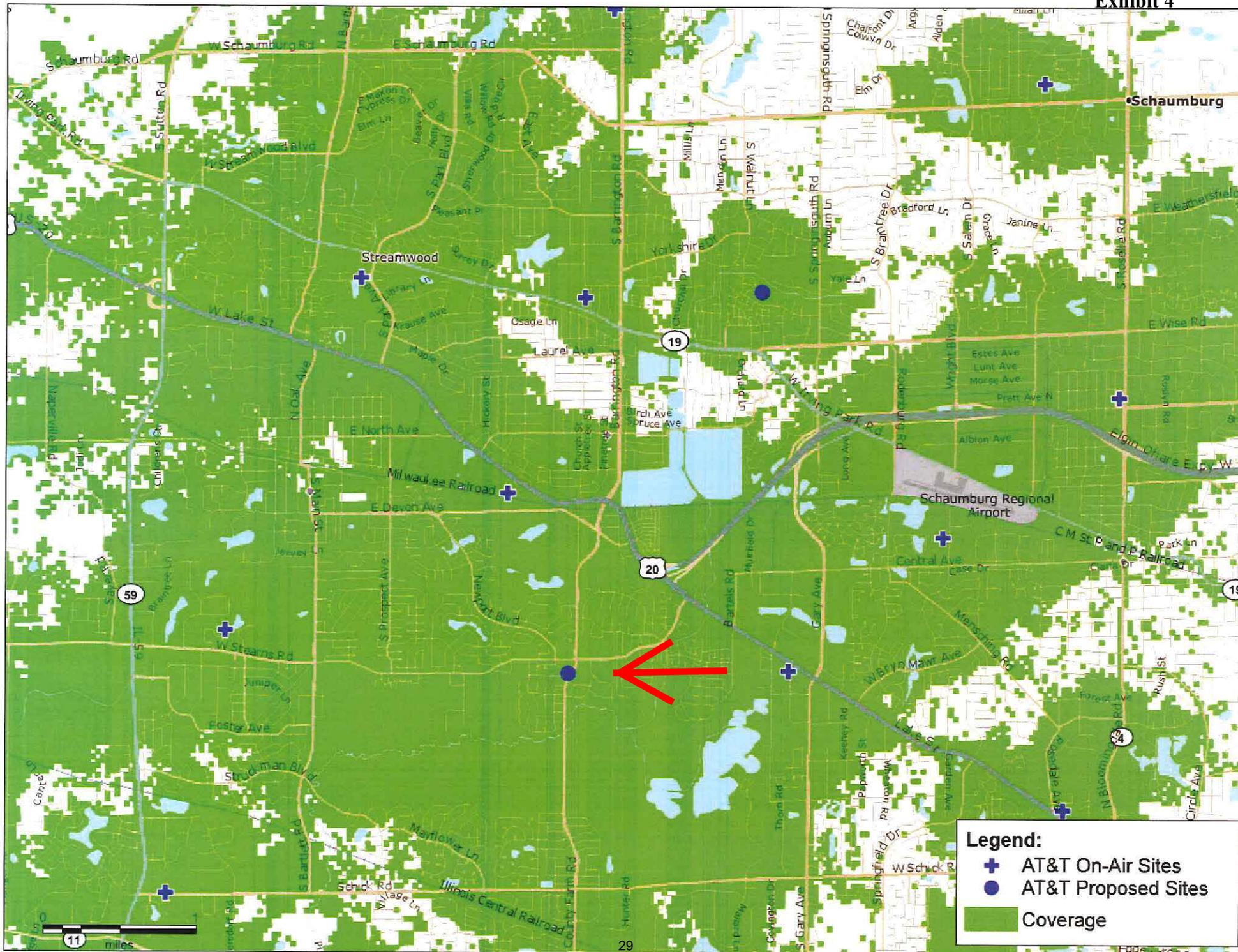


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Disclaimer: This photo simulation is an artist's depiction of a future installation. The actual construction may vary slightly in size, layout, color and texture from this simulation.



Current Coverage



**Legend:**

- + AT&T On-Air Sites
- AT&T Proposed Sites
- Coverage

Proposed Coverage

**DEVELOPMENT COMMISSION**  
**DRAFT FINDINGS OF FACT**  
**1700 GREENBROOK BOULEVARD**  
**SPECIAL USE**  
**NON-VILLAGE-OWNED UTILITY OR FACILITY**

**I. Subject**

Consideration of a request by Adam McCabe on behalf of AT&T Mobility (applicant) on behalf of the Hanover Park District (property owner) for a Special Use from the Village of Hanover Park Zoning Ordinance to allow installation of a wireless communications facility (non-village-owned facility) at the existing Seafari Springs Aquatic Center facility, at 1700 Greenbrook Boulevard, Hanover Park, Illinois, specifically,

- Special Use from Section 110-5.4.3.f

**II. Findings**

On November 14, 2013, after due notice as required by law, the Hanover Park Development Commission held a public hearing on the subject request concerning the special use amendment. \_\_\_ objectors appeared and no written objections were filed.

The Development Commission has made the following findings regarding the Special Use request:

**A. Public Health, Safety, and Welfare**

The proposed use will not negatively impact the public health, safety or welfare of the community. The use will provide additional wireless telecommunications service to the residences and businesses in the area for emergency and convenience purposes.

**B. Surrounding Property Use and Value**

The proposed development will not negatively impact the use or value of other property in the immediate vicinity. A majority of the surrounding properties are developed and have compatible residential, commercial, and institutional uses. The use has been designed with the intention of minimizing visual impact.

**C. Conformance with Comprehensive Plan**

The proposed development is in conformance with the goals and objectives set forth in the Comprehensive Plan. The Comprehensive Plan designates this parcel for park and open space uses and calls for Village support of telecommunications facilities.

**D. Development and Improvement of Surrounding Property**

The proposed development will not impede the normal and orderly development and improvement of surrounding property. No exterior alterations to the property are proposed. All adjacent parcels have either already been developed or are to be developed in the future with compatible uses.

**E. Utilities, Access Roads, and Drainage**

All utilities are installed in accordance with subdivision and engineering regulations. Existing access roads will be utilized. Access roads have been designed to provide safe and efficient on-site traffic flow.

**F. Ingress and Egress to Public Streets**

Ingress and egress to the site is provided from a curb cut along Greenbrook Boulevard, allowing full access.

**G. Conformance with Zoning Restrictions**

The property is zoned R-2 Single Family Residential. The petitioner is requesting approval of a special use amendment to allow for a non-Village-owned utility (wireless telecommunications facility), as permitted by Section 110-5.9.3.1.

**H. Minimization of Adverse Effects**

The site plan has been designed to minimize potential adverse impacts to surrounding properties. Surrounding residential, institutional, and commercial uses are compatible with the proposed non-Village-owned facility special use and will not experience any adverse impact.

**III. Recommendations**

Accordingly, by a vote of \_\_ to \_\_, the Development Commission recommends approval of the request, subject to the following conditions:

1. Uses are to be as generally depicted on the site plans and elevations prepared September 13, 2013 by W-T Communication Design Group, LLC, except as amended below. Final design and material details are to be approved by the Community & Economic Development Department. Plan amendments shall include:
  - a. The location of the service area shall be moved to the east as feasible to avoid the loss of existing trees to the extent possible.
  - b. Fencing material is to be solid wood with a height of 6 feet.
  - c. A protective barrier shall be installed between the wireless facility and adjacent parking lot to the south, with final design details to be approved
2. The applicant shall maintain all new landscaping to be installed, as depicted on the site plan prepared September 13, 2013 by W-T Communication Design Group, LLC.

3. Additional wireless carriers must be permitted to place equipment on the tower, as space and technical requirements allow.
4. An American flag must be flown on the pole at all times during daytime hours. If the flag is flown at night, it must be lit in conformance with standard practices.
5. No signs are approved as part of this request.
6. No outdoor display, sales, or storage of materials is permitted on this site.

**DEVELOPMENT COMMISSION**  
**FINDINGS OF FACT**  
**1700 GREENBROOK BOULEVARD**  
**ANTENNA HEIGHT VARIATION**

**I. Subject**

Consideration of a request by Adam McCabe on behalf of AT&T Mobility (applicant) on behalf of the Hanover Park Park District (property owner) for a Variance from the Village of Hanover Park Zoning Ordinance to allow a 30 foot variance from the maximum 60 foot antenna height for a wireless communications facility tower at the existing Seafari Springs Aquatic Center facility, at 1700 Greenbrook Boulevard, Hanover Park, Illinois, specifically,

- Variance from Section 110-6.6.1.k

**II. Findings**

On November 14, 2013, after due notice as required by law, the Hanover Park Development Commission held a public hearing on the subject request concerning the variance. \_\_\_ objectors appeared and no written objections were filed.

The Development Commission has made the following findings regarding the variance request:

**A. Unique Circumstances**

The unique circumstances related to the Applicants proposed request are:

1. A wireless telecommunications facility is a unique use in which the physical location has a direct impact upon the operation of such use and the ability of the business to successfully function.
2. The height of such wireless telecommunications facility has an impact upon the level of service such facility may provide.

**B. Essential Character**

Approval of the variance request will not alter the essential character of the locality and is consistent with the Comprehensive Plan. The surrounding properties to the north and east are zoned R-2 Single Family Residential. To the south, properties are zoned R-4 Multifamily Residential, with residential and institutional uses. To the west, properties have commercial uses. The proposed use will be sufficiently setback from surrounding properties and screened by landscaping. The Comprehensive Plan designates this property for park and open space use.

### **C. Additional Considerations**

#### **1. Surrounding Topographical Conditions**

There are no unique topographic conditions.

#### **2. General Applicability**

The conditions upon which this variation request is based will not be generally applicable to other properties within the zoning district.

#### **3. Economic Return**

The variation is based upon a desire to extend sufficient service to the requestor's wireless customers and not exclusively upon a desire to receive a greater economic return.

#### **4. Cause of Hardship**

Due to the nature of their business, wireless carriers must locate equipment in particular areas in order to provide sufficient wireless service in these areas. After careful consideration, the property has been determined to be the most appropriate for the equipment. The site provides the greatest amount of setback from neighboring properties. Additionally, due to the nature of the equipment, additional height is required to provide service to the entire area. If requested height is not granted, applicant may be required to install additional wireless towers to provide service in the area.

#### **5. Public Welfare**

Granting the requested variation will not be detrimental to the public welfare or unduly injurious to neighboring properties.

#### **6. Public Safety, Property Values**

Approval of the requested variation will not likely endanger the public safety, or impact property values within the general area.

### **III. Recommendations**

Accordingly, by a vote of \_\_\_ to \_\_\_, the Development Commission recommends approval of the request, subject to the following conditions:

7. Uses are to be as generally depicted on the site plans and elevations prepared September 13, 2013 by W-T Communication Design Group, LLC, except as amended below. Final design and material details are to be approved by the Community & Economic Development Department. Plan amendments shall include:
  - d. The location of the service area shall be moved to the east as feasible to avoid the loss of existing trees to the extent possible.

- e. Fencing material is to be solid wood with a height of 6 feet.
  - f. A protective barrier shall be installed between the wireless facility and adjacent parking lot to the south, with final design details to be approved
8. The applicant shall maintain all new landscaping to be installed, as depicted on the site plan prepared September 13, 2013 by W-T Communication Design Group, LLC.
  9. Additional wireless carriers must be permitted to place equipment on the tower, as space and technical requirements allow.
  10. An American flag must be flown on the pole at all times during daytime hours. If the flag is flown at night, it must be lit in conformance with standard practices.
  11. No signs are approved as part of this request.
  12. No outdoor display, sales, or storage of materials is permitted on this site.



**Village of Hanover Park  
Community Development Department**

**INTEROFFICE MEMORANDUM**

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**TO:** Chairman Wachsmuth and members of the Development Commission

**FROM:** Katie Bowman, Village Planner

**SUBJECT:** Special Use and Variance for AT&T at Hartmann Water Tower  
**ACTION**

**REQUESTED:**  Approval  Disapproval  Information

**MEETING DATE:** November 14, 2013

---

**REQUEST SUMMARY**

The following request is scheduled for Development Commission review at 7:00 p.m. on November 14, 2013 in Room 214 of the Municipal Building, 2121 Lake Street:

A request by Adam McCabe on behalf of AT&T Mobility (applicant) on behalf of the Village of Hanover Park (property owner) for a Special Use and Variances from the Village of Hanover Park Zoning Ordinance to allow installation of 12 antennas for an additional wireless communications facility (non-village-owned facility) on the existing Hanover Park water tank and construction of a 336 square foot accessory structure at 687 Hartmann Drive, Hanover Park, Illinois. Specifically, the following must be approved:

- Special Use from Section 110-5.6.3.k, to permit a non-village-owned utility or facility
- Variance from Section 110-6.6.1.m, to permit a fourth storage building in the size of 336 square feet, which is a 186 square foot variance from the maximum 150 square foot storage building size
- Variance from Section 110-6.6.3.a.1, to permit a 3 foot 7 inch rear setback, which is a 6 foot 3 inch variance from the minimum 10 foot rear yard setback for accessory structures

**BACKGROUND**

The subject property is located adjacent to Atcher (Olde Salem) Park, northwest of the intersection of Hartmann Drive and Farmstead Lane, within the Olde Salem neighborhood, north of the intersection of Irving Park and Wise Roads. The Village of Hanover Park Hartmann Water Tower facility and three accessory structures, all surrounded by a chain link fence, are on the property. The parcel is zoned R-4 Multi-Family Residential and surrounded by R-4 Multi-Family Residential properties to the south and west, and Olde Salem Park and single family residences within the Village of Schaumburg to the north and east.

The existing Water Tower facility includes a 172.5 foot tall water tank, which currently has antennas from four wireless carriers located at different elevations. Three storage buildings housing equipment associated with the existing wireless antennas are located adjacent to the tower. The area is serviced by a concrete drive and various trees, as well as a green wire fence, surround the existing facility. The surrounding Olde Salem Park includes play equipment to the south along Hartmann Drive and a large open lawn area with walking path.

## **DISCUSSION**

AT&T Mobility proposes to install 12 antennas and associated equipment in three sectors at a height of 80 feet on the existing water tower. To service their equipment, they propose to construct a 12 foot by 28 foot service building (336 square foot) service building within a 19 foot by 35 foot (665 square foot) lease area. Based upon feedback from Staff, the accessory structure is designed to appear similar to other storage structures constructed at Village tower sites over the years. This includes a red brick façade and pitched roof with asphalt shingles to match those on existing buildings.

The proposal requires a Special Use to permit an additional non-village-owned utility on the site (wireless telecommunications facility), as well as a Variances to permit a fourth storage building that is 336 square feet in area and an accessory building rear setback of 3 feet 7 inches. Per Section 110-5.6.3.k of the Zoning Ordinance, non-village-owned utilities and facilities are permitted in the R-4 district with a special use permit. Per Section 110-6.6.1.m, one shed and/or storage building is permitted per lot in residential districts, not to exceed 150 square feet in area. Per Section 110-6.6.3.a.1, accessory structures are required a minimum rear setback of 10 feet. A Variance from such requirements is requested under Section 110-4.7.7.b, Authorized Variations. Such requests are standard for wireless facilities located on Village property throughout the village.

AT&T requests that they gain access to the site through an 8 foot wide access easement from the south and serve their utilities through 4 foot wide utility easements to the west and south. Details related to the exact location and width of utility and access easements, as well as final tower lease terms, have been developed with the Director of Engineering and Public Works. The requirement that these legal details be approved by Staff and the Village Board prior to issuance of permits is recommended as a condition of approval below.

## **STAFF COMMENT**

The proposed structure and use are compatible with uses currently existing onsite and with permitted special uses within the R-4 Multi-Family Residential District. Aside from size and setback requirements, the proposed development meets all bulk regulations of the district. Proposed setbacks are approximately 185 feet to the front (south), 10 feet to the west side, 158 feet to the east side, and 3 feet 7 inches feet to the rear (north). These meet the required 5 foot side setback, but not the 10 foot rear setback, for accessory structures. The building will be approximately 12 feet tall, which is below the maximum height of 15 feet for accessory structures. Coverage will be approximately 17.2% of the rear yard and 5.3% of the lot, well below the maximum permitted 40% rear yard coverage and 50% lot coverage in the

R-4 district. Access is to be provided by the existing drive aisle and entry gates and no new curb cuts are proposed.

The Comprehensive Plan identifies the subject property as public property with a civic or institutional use. The proposed use is in keeping with the goals of the Comprehensive Plan, including Objective 3.3.2 of the Community Facilities and Public Infrastructure Plan, which states that the Village should “monitor the capacity and demands of municipal services and facilities (e.g. water, sewer, stormwater, police, fire, telecommunications, and general government) and improve or expand upon them as necessary.”

As outlined in the attached findings, Staff finds that the request meets the required findings of a Special Use and Variance. As conditioned, the proposed Special Use is in keeping with existing uses onsite and will not bring negative impact to surrounding properties or general health and welfare. The use will require no new traffic access or utilities to the site. The site is surrounded by a limited number of residences. Impact of the structure will be minimized through compatible design and existing landscape screening.

The variance is requested due to the unique requirements of a wireless telecommunications facility, for which the physical location has a direct impact upon the operation of such use and the ability of the business to successfully function. The applicant argues that the strict application of the requirement that only one 150 square foot storage building at required setbacks be permitted onsite will result in a particular hardship. Relief of this hardship will not cause substantial detriment to the surrounding properties or the character of the district.

However, Staff recommends several conditions of approval which may further reduce the impact of the proposed wireless telecommunications service:

- Rear setback of service building increased to a minimum of 5 feet, to correlate with setback of adjacent service building and provide room for landscaping.
- Additional landscaping to be installed to the rear (north) of the service building to provide screening from adjacent residences. Landscaping to include evergreen trees to correlate with existing landscaping onsite.

### **RECOMMENDATION**

Staff recommends a positive recommendation of the Special Use and Variations, subject to the following:

1. Uses are to be as generally depicted on the site plans and elevations prepared on October 3, 2013 by Fullerton Engineering Design, except as amended below. Final design and material details are to be approved by the Community & Economic Development Department. Plan amendments shall include:
  - a. Service building shall be moved to the south to provide a minimum setback of 5 feet from the property line.
  - b. Additional landscaping, in the form of evergreen trees, shall be installed to the north of the service building.

2. No building permit shall be issued for such uses until final equipment shelter design and material details, to match that of existing buildings onsite, are approved by the Community & Economic Development Department.
3. No building permit shall be issued for such uses until easement areas and lease terms are finalized and approved by the Village of Hanover Park.
4. No building permit shall be issued for such uses until landscape plans to provide appropriate screening to the new building are approved by the Community & Economic Development Department.
5. No signs are approved as part of this request.
6. No outdoor display, sales, or storage of materials is permitted on this site.

### **ATTACHMENTS**

Exhibit 1: Photos of Site

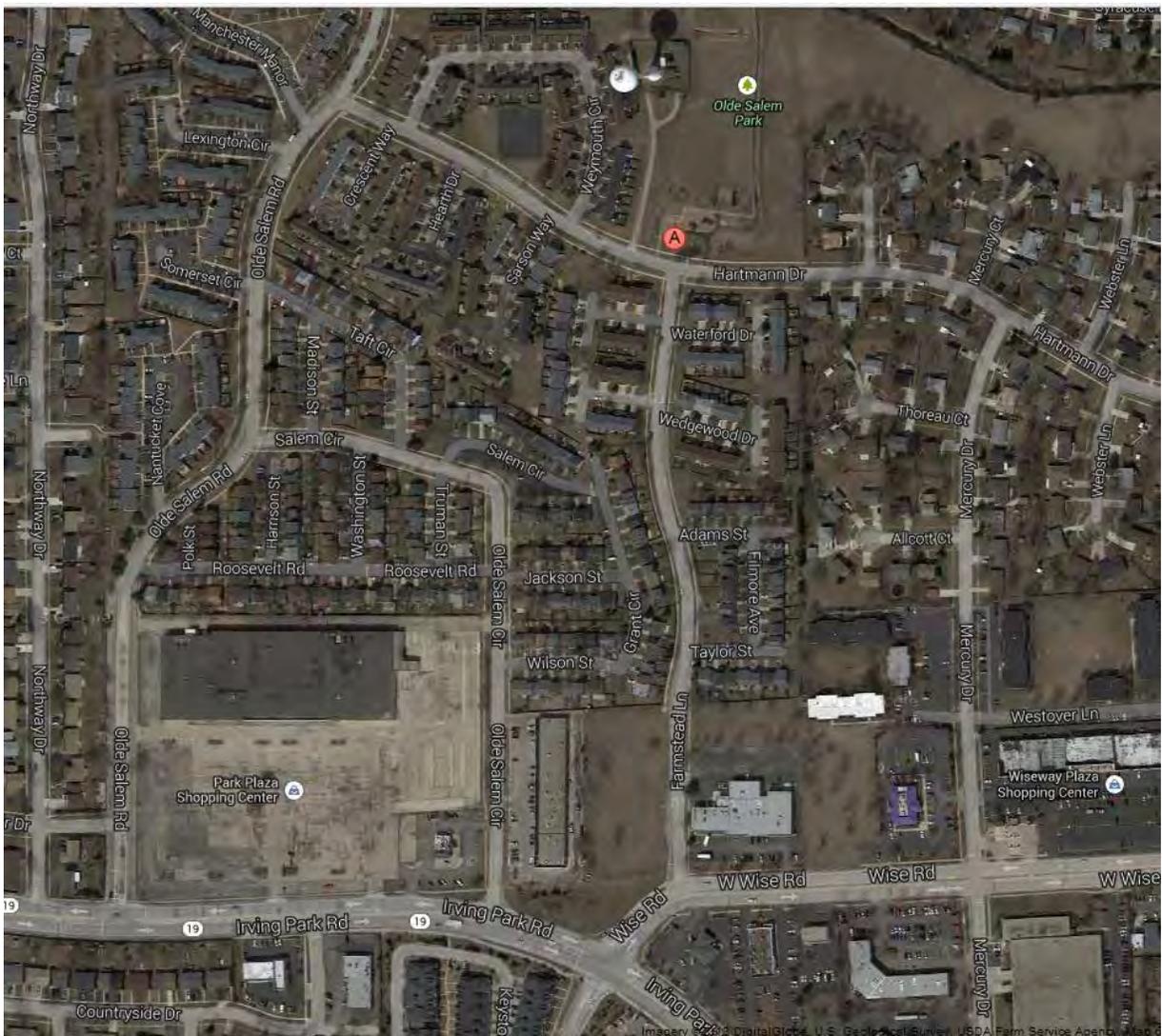
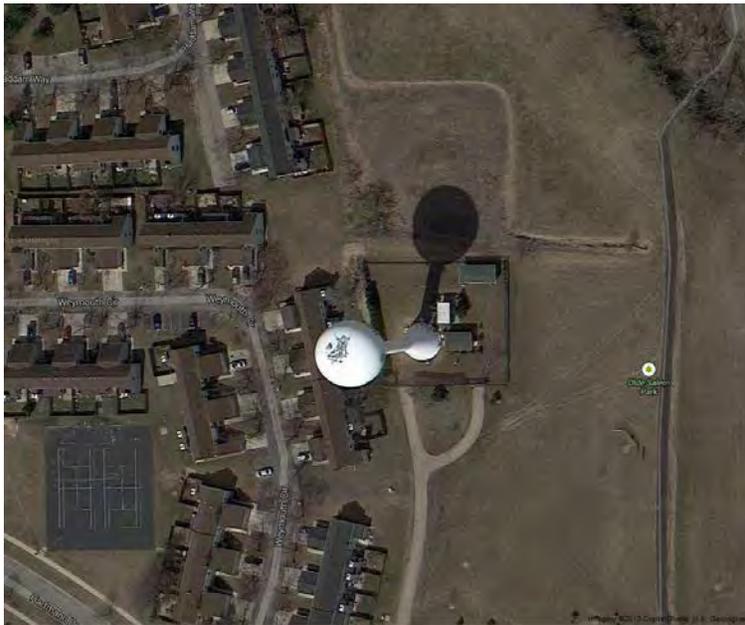
Exhibit 2: Site Plan, Elevations, and supporting documents

Exhibit 3: Propagation Maps

Exhibit 4: Draft Findings of Fact

# Exhibit 1 – 687 Hartmann – Site Photos

## Site Location



Site looking North



Site looking East



Site looking South



Site looking West



PROJECT INFORMATION			
SITE NAME:	HARTMANN TOWER	JURISDICTION:	VILLAGE OF HANOVER PARK DUPAGE
SITE NUMBER:	IL0892	COUNTY:	DUPAGE
SITE ADDRESS:	681 HARTMANN DRIVE HANOVER PARK, IL 60133	ZONING:	RESIDENTIAL MULTI.
ESRI ADDRESS:	681 HARTMANN DRIVE (TEMPORARY ADDRESS)	FA #	1013121
APPLICANT:	AT&T	SITE COORDINATES FROM (GOOGLE)	
OWNER:	330 NATIONAL PARKWAY SCHAUMBURG, IL 60173 VILLAGE OF HANOVER PARK 2121 W LAKE ST. HOWARD KILLEN (630) 372-4440	LATITUDE:	N 42° 00' 31.95"
CONTACT:	ROBERT WENGER WATER TREATMENT SUPERVISOR (630) 372-4440	LONGITUDE:	W 88° 07' 35.16"
UTILITY COMPANIES:		GROUND ELEV:	804 FT. A.M.S.L.
POWER:	COMED JACKIE EVANS (866) 639-3532		
TEL:	AT&T CRAIG URANSLID (888) 901-2179		
PROPOSED USE:	TELECOMMUNICATIONS FACILITY		
BUILDING CODE:	2006 INTERNATIONAL BUILDING CODE		
ELECTRIC CODE:	2005 NATIONAL ELECTRICAL CODE		



AT&T APPROVAL	
SITE ACQUISITION MANAGER:	DATE:
MASTEC CONSTRUCTION MANAGER:	DATE:
MASTEC SA PROJECT MANAGER:	DATE:
MASTEC SA SPECIALIST:	DATE:
MASTEC COMPLIANCE MANAGER:	DATE:
AT&T RF PROJECT MANAGER:	DATE:
AT&T PROJECT MANAGER:	DATE:

90% CD'S V.1 DATED 10/3/13 ARE BASED UPON RFDS V01, DATED 03/20/13

SITE NAME: HARTMANN TOWER  
SITE NUMBER: IL0892

(12) NEW AT&T ANTENNAS INSTALLED ON EXISTING WATER TOWER AND NEW 11'-5" X 28'-0" AT&T EQUIPMENT SHELTER

SITE QUALIFICATION PARTICIPANTS			
	NAME	COMPANY	PHONE NUMBER
A/E	DALIBOR ZRNIC	FEC	(224) 585-4448
REAL ESTATE	ADAM MCCABE	ACMB	(713) 551-1051
RF	KENT BERNER	AT&T	(312) 320-3271
PM	SUE BILLINGS	MASTEC	(618) 910-7247
REGULATORY	LAURA FYLE	MASTEC	(618) 995-6371
CM	TIM BRILEY	MASTEC	(618) 910-3167

APPLICABLE BUILDING CODES AND STANDARDS	
SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL NATIONAL, STATE AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.	
BUILDING CODE:	2006 INTERNATIONAL BUILDING CODE
ELECTRICAL CODE:	2005 NATIONAL ELECTRICAL CODE
LIGHTNING PROTECTION CODE:	NFPA 780 - 2008, LIGHTNING PROTECTION CODE

VICINITY MAP  
DRIVING DIRECTIONS:  
DEPART FROM CHICAGO O'HARE INTERNATIONAL AIRPORT.  
MERGE ONTO I-190 E.  
MERGE ONTO US-12 E/US-45 S/MANNHEIM RD TOWARD US-12/US-45 S/MANNHEIM RD.  
TURN RIGHT ONTO IRVING PARK RD/IL-19 W.  
TURN RIGHT ONTO N YORK RD/CR-8.  
TURN LEFT ONTO THORNDALE AVE/CR-26 W.  
STAY STRAIGHT TO GO ONTO ELGIN O'HARE EXPY W.  
TAKE THE IRVING PARK RD/IL-19 RAMP TOWARD SPRINGSGUTH RD.  
TURN RIGHT ONTO W IRVING PARK RD/IL-19.  
TURN RIGHT ONTO MERCURY DR.  
TURN LEFT ONTO HARTMANN DR. DESTINATION WILL BE ON THE RIGHT.

- SUBCONTRACTORS WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:
- AMERICAN CONCRETE INSTITUTE (ACI) 318, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
  - AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) MANUAL OF STEEL CONSTRUCTION, ASD, NINTH EDITION
  - TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-F, STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES
  - TIA 607, COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS
  - INSTITUTE FOR ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE) 81, GUIDE FOR MEASURING EARTH RESISTIVITY, GROUND IMPEDANCE, AND EARTH SURFACE POTENTIALS OF A GROUND SYSTEM IEEE 1100 (1993) RECOMMENDED PRACTICE FOR POWERING AND GROUNDING ELECTRONIC EQUIPMENT
  - IEEE C62.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY "C3" AND "HIGH SYSTEM EXPOSURE")
  - TELECORDIA GR-127, GENERAL INSTALLATION REQUIREMENTS
  - TELECORDIA GR-1503, COAXIAL CABLE CONNECTIONS
  - ANSI T131, FOR TELECOM - DC POWER SYSTEMS - TELECOM, ENVIRONMENTAL PROTECTION
  - FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN, WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.
  - EQUIPMENT AREAS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS AND PLUMBING FACILITIES ARE NOT REQUIRED.



DRAWING INDEX	
T-1	TITLE SHEET
981	SITE SURVEY
982	SITE SURVEY
C-1	SITE PLAN
C-2	ENLARGED SITE PLAN
C-2A	EQUIPMENT PLAN
C-3	SITE ELEVATION
C-4	SHELTER ELEVATIONS
C-5	SHELTER FOUNDATION DETAILS
C-6	ROOF DETAILS
C-7	SITE DETAILS
C-8	SITE DETAILS
C-9	SITE DETAILS AND NOTES
C-10	ANTENNA INFORMATION CHART
C-11	ALARM TERMINATION
C-12	CONSTRUCTION NOTES
E-1	UTILITY SITE PLAN AND DETAILS
E-2	ELECTRICAL NOTES AND DETAILS
E-3	PANEL "A" SCHEDULE
GR-1	RISER DIAGRAM AND DETAILS
GR-2	GROUNDING NOTES AND DETAILS
GR-3	GROUNDING DETAILS

PROFESSIONAL LICENSE	
I CERTIFY THAT THESE DRAWING WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE REQUIREMENTS OF THE 2006 INTERNATIONAL BUILDING CODE	
LICENSE:	EXPIRES:

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9600 W. BRYN MAWR AVE., SUITE 200  
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TEL: 847-292-0200  
FAX: 847-292-0206  
DESIGN FIRM NO. 184-003498  
www.FullertonEngineering.com

**ACMB**  
GROUP  
3616 1/2 N. KEDVALE AVE. 1E  
CHICAGO, IL 60641

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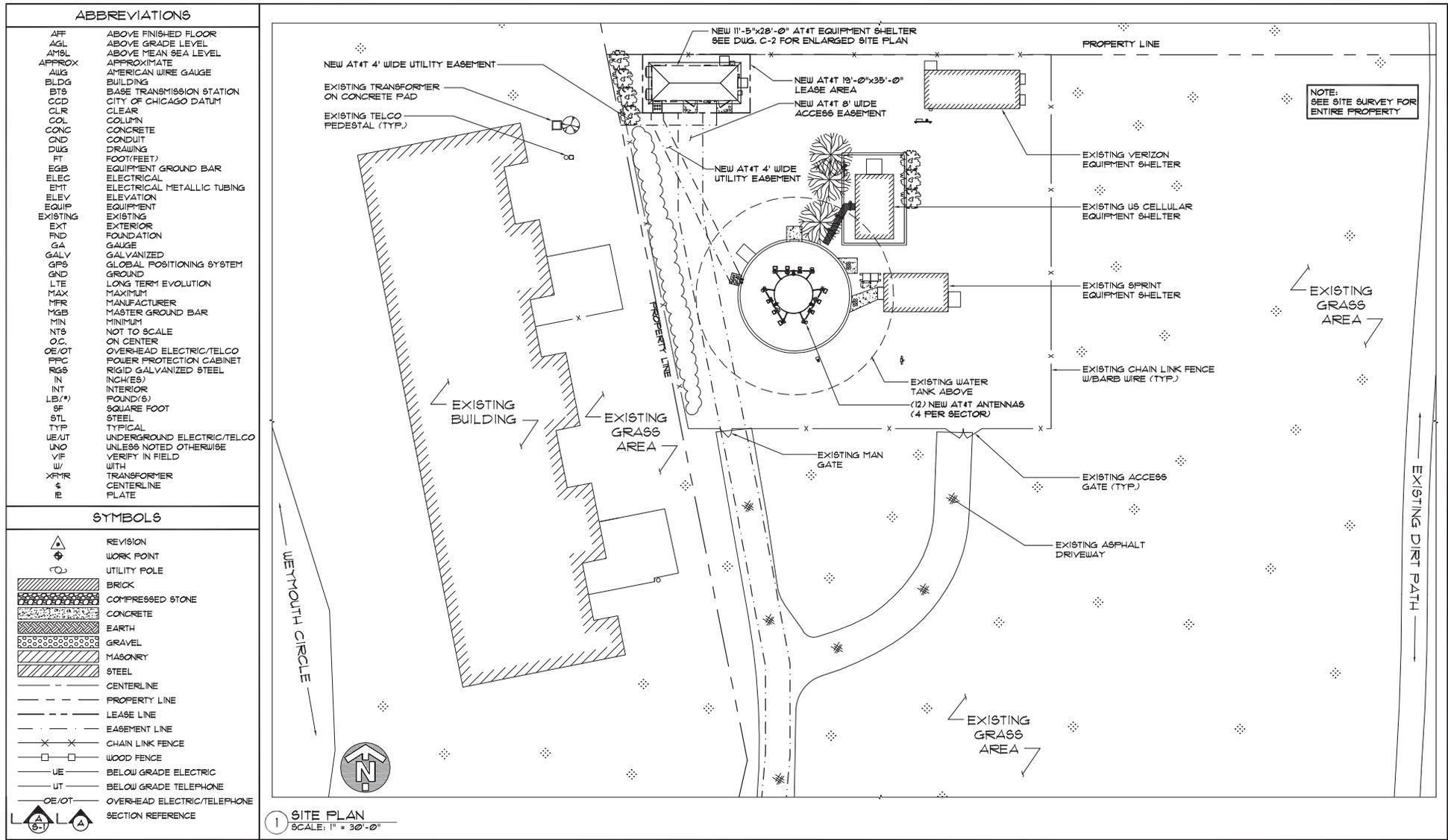
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**HARTMANN TOWER**  
SITE NO.  
**IL0892**  
681 HARTMANN DRIVE  
HANOVER PARK, IL 60133

**at&t**  
930 NATIONAL PARKWAY  
4th FLOOR  
SCHAUMBURG, IL 60113

#	DATE	REVISION	BY	CHK	DATE SIGNED:
1	10/03/13	90% REVIEW	EB	AG	

DRAWING NAME	DRAWING NO.
TITLE SHEET	T-1

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SITE NAME:  
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SITE NO.  
**1L0892**  
601 HARTMANN DRIVE  
HANOVER PARK, IL 60133

**at&t**  
930 NATIONAL PARKWAY  
4th FLOOR  
SCHALMERS, IL 60113

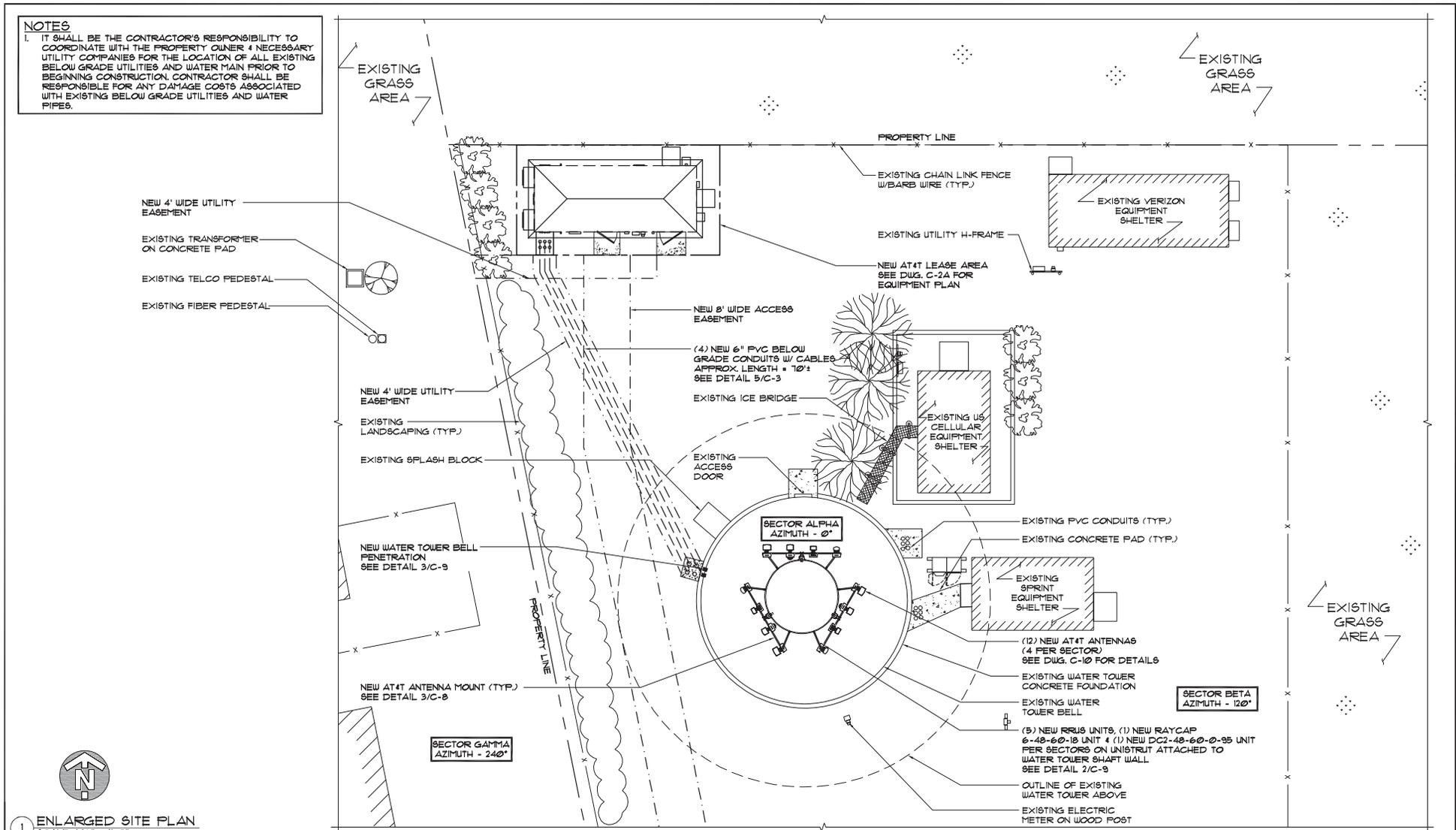
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DRAWING NAME  
**SITE PLAN**

DRAWING NO.  
**C-1**

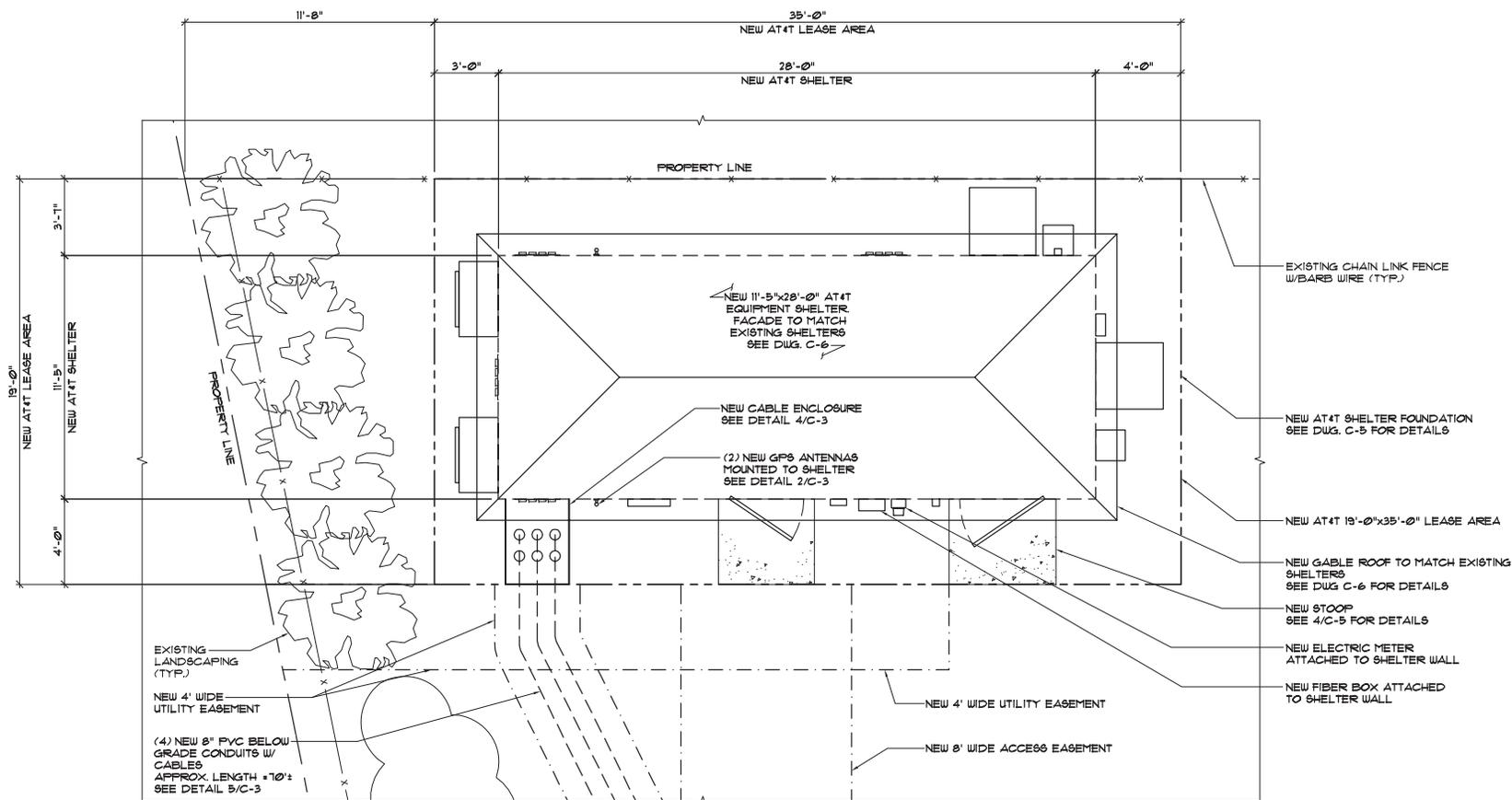
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**1 ENLARGED SITE PLAN**  
 SCALE: 1/16" = 1'-0"

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1 EQUIPMENT PLAN  
SCALE: 3/16" = 1'-0"

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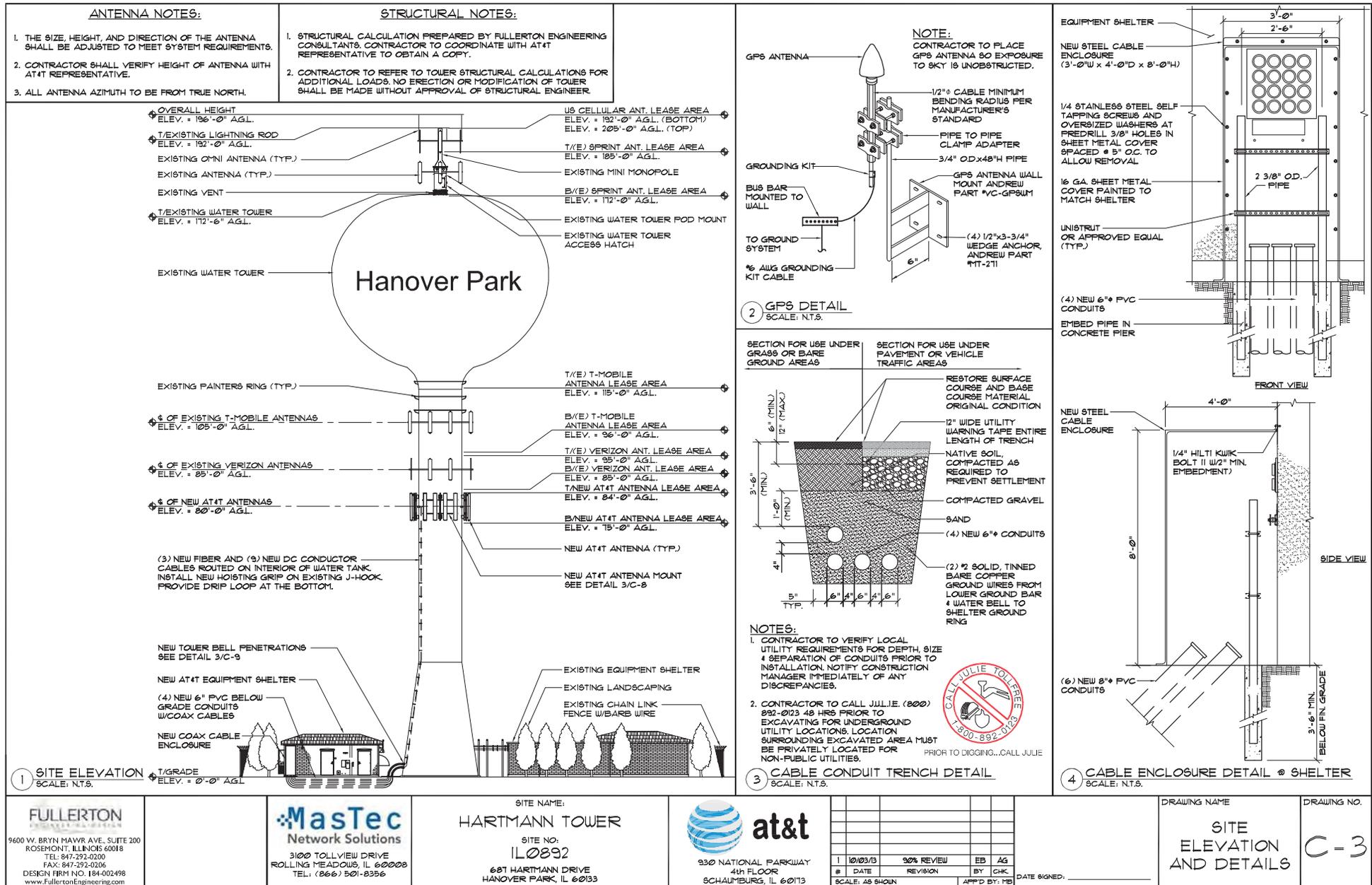
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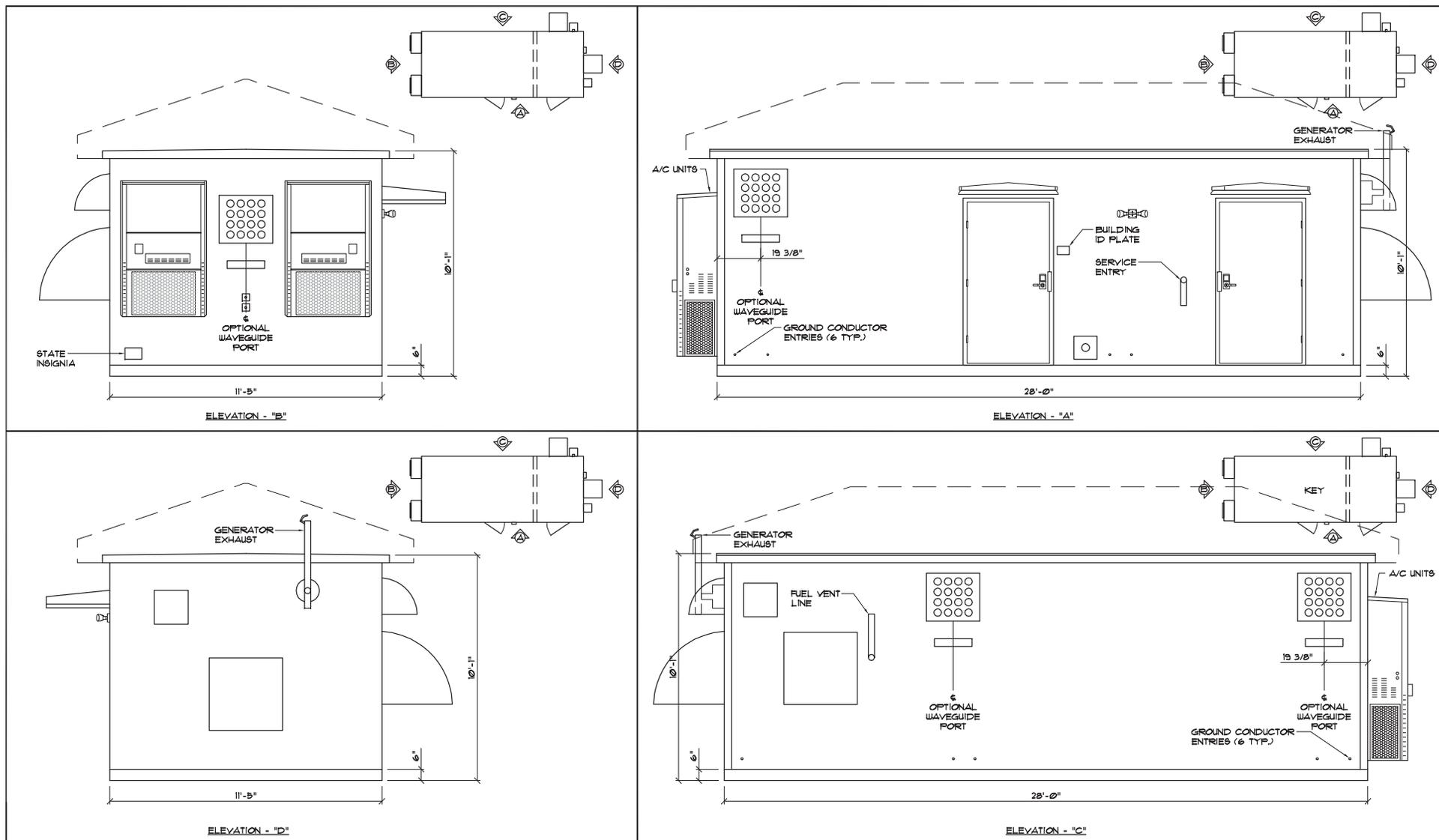
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EQUIPMENT PLAN	C-2A

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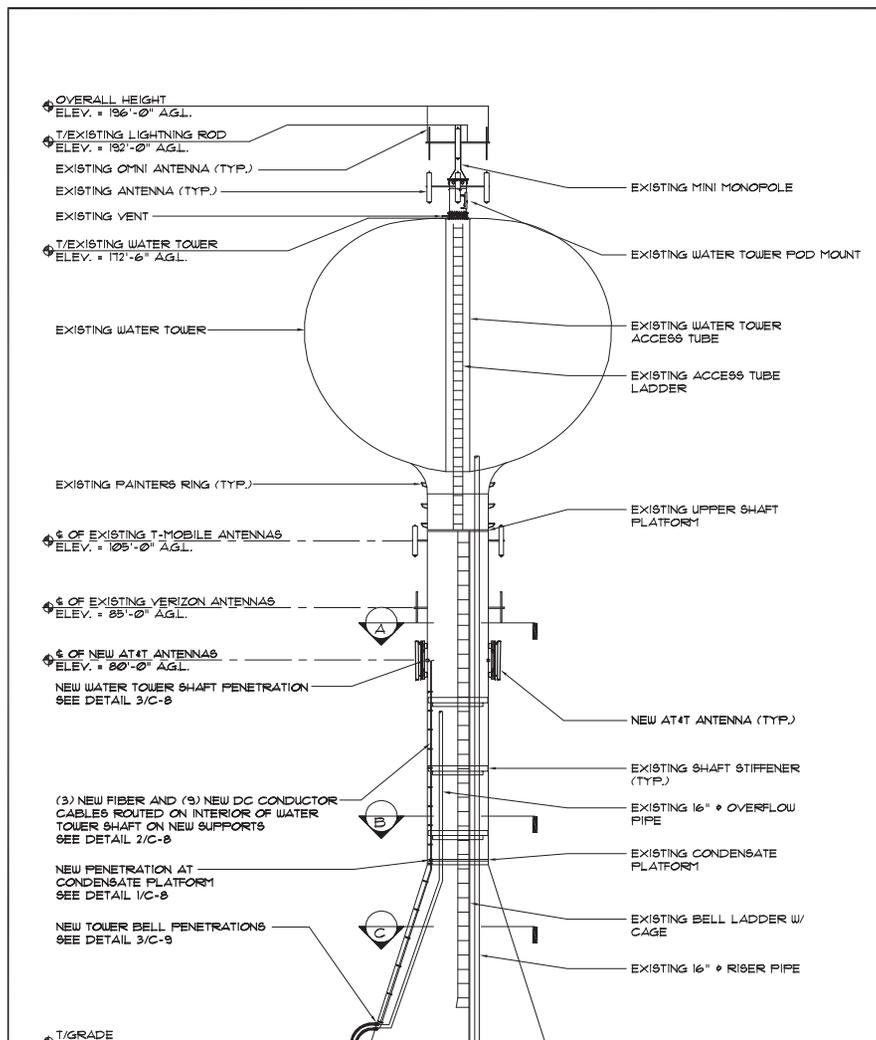
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# Exhibit 2

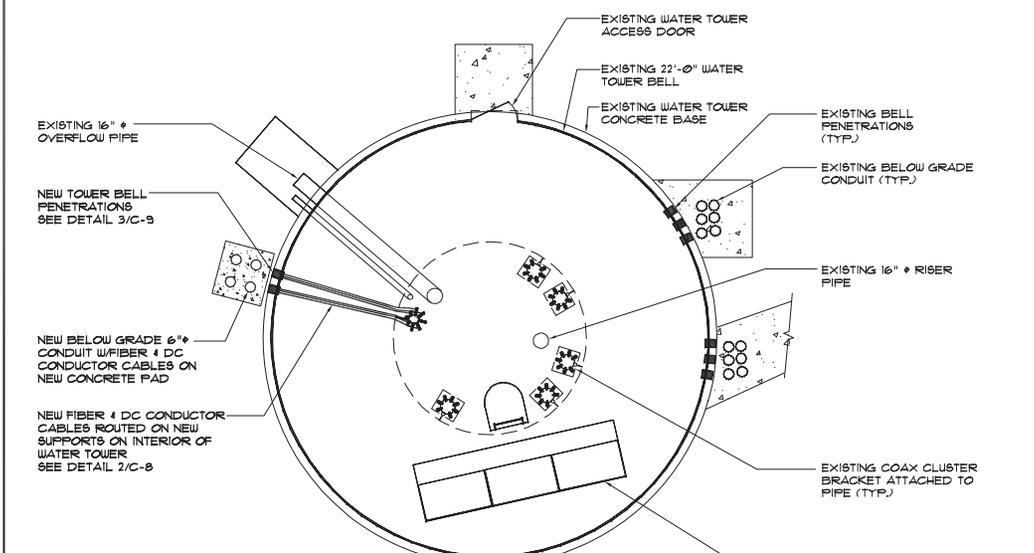
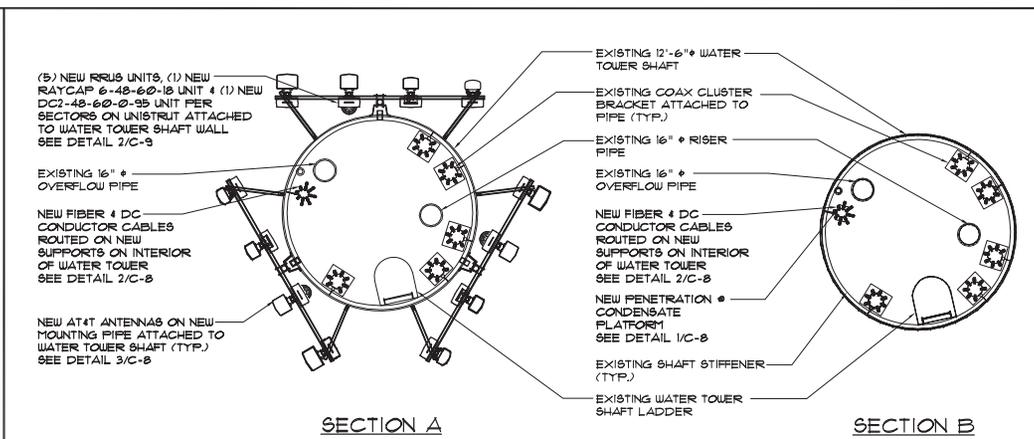


<p><b>FULLERTON</b> ENGINEERING CONSULTANTS, INC.</p> <p>9600 W. BRYN MAVYR AVE., SUITE 200 ROSEMONT, ILLINOIS 60018 TEL: 847-292-0200 FAX: 847-292-0206 DESIGN FIRM NO. 184-002498 www.FullertonEngineering.com</p>	<p><b>ACMB</b> GROUP</p> <p>3616 1/2 N. KEDVALE AVE. 1E CHICAGO, IL 60641</p>	<p><b>MasTec</b> Network Solutions</p> <p>3100 TOLLVIEW DRIVE ROLLING MEADOWS, IL 60008 TEL.: (866) 501-8356</p>	<p>SITE NAME: <b>HARTMANN TOWER</b></p> <p>SITE NO. <b>IL0892</b></p> <p>601 HARTMANN DRIVE HANOVER PARK, IL 60133</p>	<p>930 NATIONAL PARKWAY 4th FLOOR SCHALMERS, IL 60113</p>	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <td style="width:5%;">#</td> <td style="width:15%;">DATE</td> <td style="width:15%;">REVISION</td> <td style="width:15%;">BY</td> <td style="width:15%;">CHK</td> <td style="width:15%;">APP'D BY</td> <td style="width:15%;">DATE SIGNED</td> </tr> <tr> <td>1</td> <td>10/03/13</td> <td>90% REVIEW</td> <td>EB</td> <td>AG</td> <td></td> <td></td> </tr> <tr> <td colspan="7">SCALE: AS SHOWN</td> </tr> </table>	#	DATE	REVISION	BY	CHK	APP'D BY	DATE SIGNED	1	10/03/13	90% REVIEW	EB	AG			SCALE: AS SHOWN							<p>DRAWING NAME</p> <p style="text-align: center;"><b>SHELTER ELEVATIONS</b></p>	<p>DRAWING NO.</p> <p style="font-size: 2em; text-align: center;"><b>C = 4</b></p>
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**1 WATER TOWER SECTION**  
SCALE: N.T.S.



**2 SECTION DETAILS**  
SCALE: N.T.S.

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**MasTec**  
 Network Solutions  
 3100 TOLLVIEW DRIVE  
 ROLLING MEADOWS, IL 60008  
 TEL: (866) 501-8356

SITE NAME:  
**HARTMANN TOWER**  
 SITE NO.  
**IL0892**  
 601 HARTMANN DRIVE  
 HANOVER PARK, IL 60133

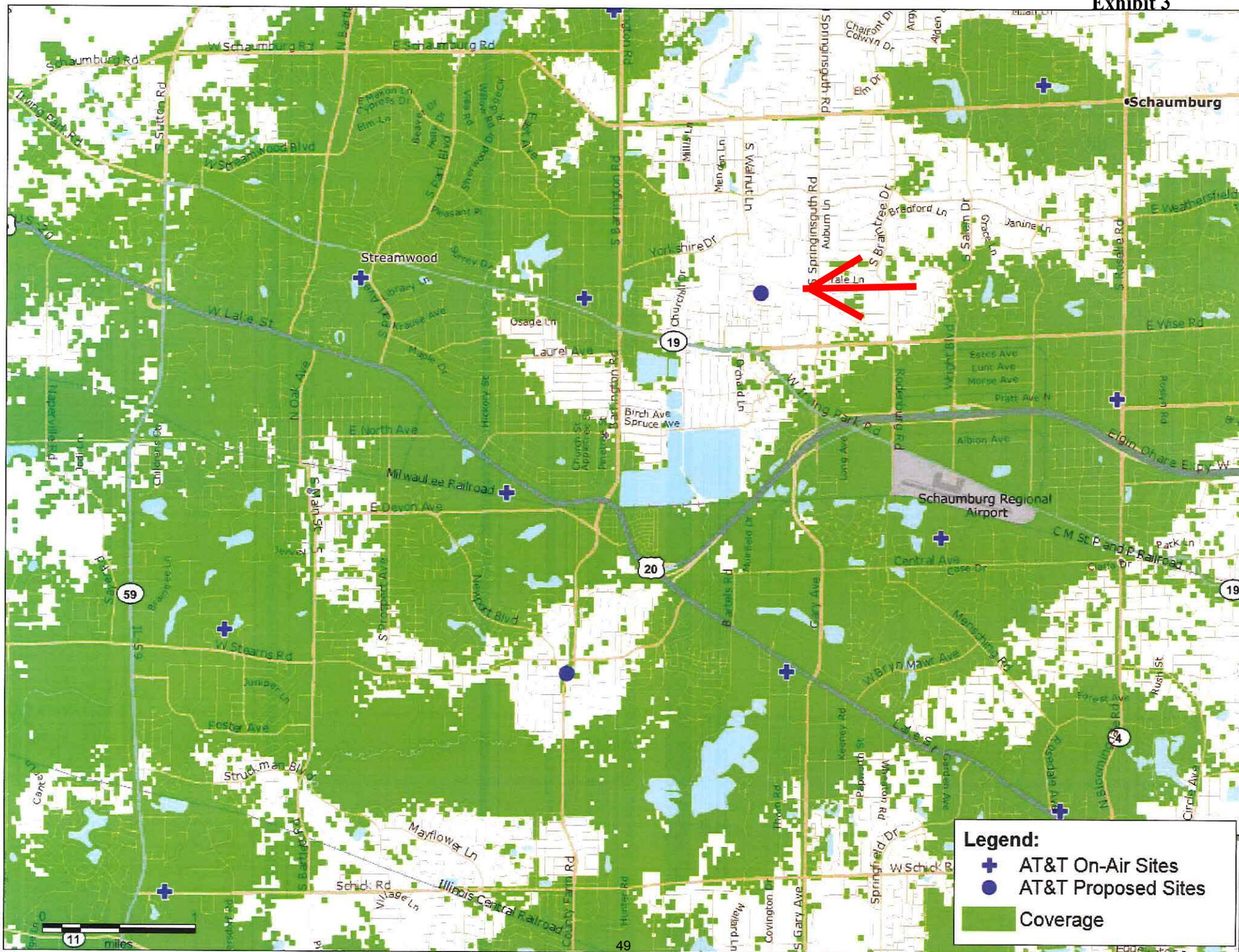
930 NATIONAL PARKWAY  
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 SCHALMERS, IL 60113

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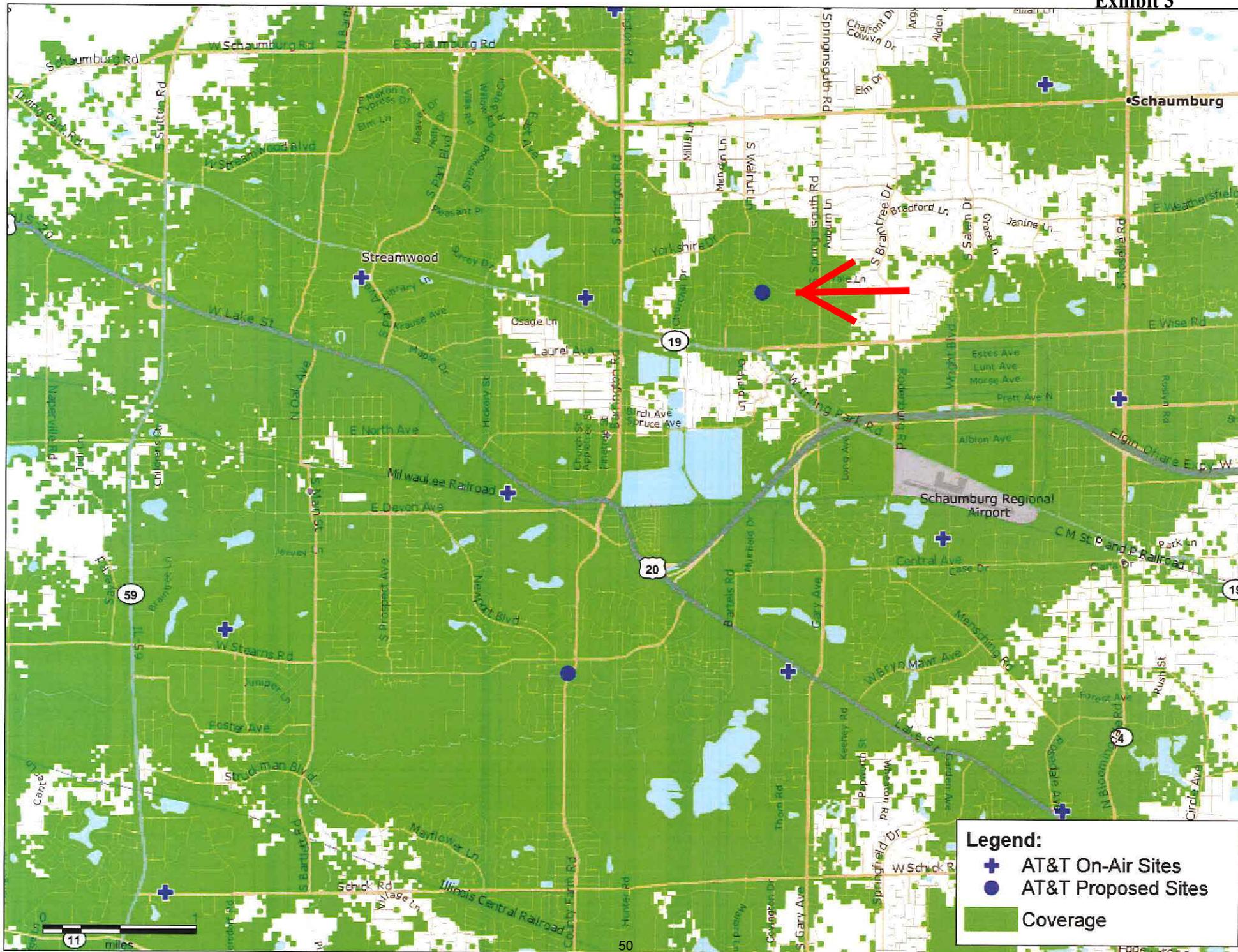
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DRAWING NAME	DRAWING NO.
SITE DETAILS	C-7

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Current Coverage



Proposed Coverage

**DEVELOPMENT COMMISSION**  
**DRAFT FINDINGS OF FACT**  
**687 HARTMANN DRIVE**  
**SPECIAL USE**  
**NON-VILLAGE-OWNED UTILITY OR FACILITY**

**I. Subject**

Consideration of a request by Adam McCabe on behalf of AT&T Mobility (applicant) on behalf of the Hanover Park District (property owner) for a Special Use from the Village of Hanover Park Zoning Ordinance to allow installation of a wireless communications utility (non-village-owned facility) at the existing Hartmann Water Tower at 687 Hartmann Drive, Hanover Park, Illinois, specifically,

- Special Use from Section 110-5.6.3.k

**II. Findings**

On November 14, 2013, after due notice as required by law, the Hanover Park Development Commission held a public hearing on the subject request concerning the special use amendment. \_\_\_ objectors appeared and no written objections were filed.

The Development Commission has made the following findings regarding the Special Use request:

**A. Public Health, Safety, and Welfare**

The proposed use will not negatively impact the public health, safety or welfare of the community. The use will provide additional wireless telecommunications service to the residences and businesses in the area for emergency and convenience purposes.

**B. Surrounding Property Use and Value**

The proposed development will not negatively impact the use or value of other property in the immediate vicinity. A majority of the surrounding properties are developed and have compatible residential and recreational uses. The use has been designed with the intention of minimizing visual impact.

**C. Conformance with Comprehensive Plan**

The proposed development is in conformance with the goals and objectives set forth in the Comprehensive Plan. The Comprehensive Plan designates this parcel for public property with a civic or institutional use and calls for Village support of telecommunications facilities.

**D. Development and Improvement of Surrounding Property**

The proposed development will not impede the normal and orderly development and improvement of surrounding property. No exterior alterations to the property are

proposed. All adjacent parcels have already been developed or are to be developed with compatible uses.

#### **E. Utilities, Access Roads, and Drainage**

All utilities are installed in accordance with subdivision and engineering regulations. Existing access roads will be utilized. Access roads have been designed to provide safe and efficient on-site traffic flow.

#### **F. Ingress and Egress to Public Streets**

Ingress and egress to the site is provided from a curb cut along Hartmann Drive, allowing full access.

#### **G. Conformance with Zoning Restrictions**

The property is zoned R-4 Mutli-Family Residential. The petitioner is requesting approval of a special use amendment to allow for a non-Village-owned utility (wireless telecommunications facility), as permitted by Section 110-5.6.3.k.

#### **H. Minimization of Adverse Effects**

The site plan has been designed to minimize potential adverse impacts to surrounding properties. Surrounding residential, institutional, and commercial uses are compatible with the proposed non-Village-owned facility special use and will not experience any adverse impact.

### **III. Recommendations**

Accordingly, by a vote of \_\_\_ to \_\_\_, the Development Commission recommends approval of the request, subject to the following conditions:

1. Uses are to be as generally depicted on the site plans and elevations prepared on October 3, 2013 by Fullerton Engineering Design, except as amended below. Final design and material details are to be approved by the Community & Economic Development Department. Plan amendments shall include:
  - a. Service building shall be moved to the south to provide a minimum setback of 5 feet from the property line.
  - b. Additional landscaping, in the form of evergreen trees, shall be installed to the north of the service building.
2. No building permit shall be issued for such uses until final equipment shelter design and material details, to match that of existing buildings onsite, are approved by the Community & Economic Development Department.
3. No building permit shall be issued for such uses until easement areas and lease terms are finalized and approved by the Village of Hanover Park.
4. No building permit shall be issued for such uses until landscape plans to provide appropriate screening to the new building are approved by the Community & Economic Development Department.
5. No signs are approved as part of this request.
6. No outdoor display, sales, or storage of materials is permitted on this site.

**DEVELOPMENT COMMISSION**  
**FINDINGS OF FACT**  
**687 HARTMANN DRIVE**  
**ACCESSORY STRUCTURE VARIATIONS**

**I. Subject**

Consideration of a request by Adam McCabe on behalf of AT&T Mobility (applicant) on behalf of the Hanover Park District (property owner) for a Variance from the Village of Hanover Park Zoning Ordinance to permit a fourth accessory structure, a 186 square foot variance from the maximum 150 square foot accessory structure size, and a 6 foot 3 inch variance from the minimum 10 foot rear yard setback for accessory structures at the existing Hartmann Water Tower at 687 Hartmann Drive, Hanover Park, Illinois, specifically,

- Variance from Section 110-6.6.1.m
- Variance from Section 110-6.6.3.a.1

**II. Findings**

On November 14, 2013, after due notice as required by law, the Hanover Park Development Commission held a public hearing on the subject request concerning the variance. \_\_\_ objectors appeared and no written objections were filed.

The Development Commission has made the following findings regarding the variance request:

**A. Unique Circumstances**

The unique circumstances related to the Applicants proposed request are:

1. A wireless telecommunications facility is a unique use in which the physical location has a direct impact upon the operation of such use and the ability of the business to successfully function.
2. Associated equipment are required to service such use, which per Village guidelines are to be enclosed in an appropriate storage building.

**B. Essential Character**

Approval of the variance request will not alter the essential character of the locality and is consistent with the Comprehensive Plan. The surrounding properties to the south and west are zoned R-4 Multi-Family Residential, to the east Olde Salem Park, and to the north and are single family residences within the Village of Schaumburg. The proposed use will be sufficiently setback from surrounding properties and screened by landscaping. The Comprehensive Plan designates this property for public property with a civic or institutional use.

### **C. Additional Considerations**

#### **1. Surrounding Topographical Conditions**

There are no unique topographic conditions.

#### **2. General Applicability**

The conditions upon which this variation request is based will not be generally applicable to other properties within the zoning district.

#### **3. Economic Return**

The variation is based upon a desire to extend sufficient service to the requestor's wireless customers and not exclusively upon a desire to receive a greater economic return.

#### **4. Cause of Hardship**

Due to the nature of their business, wireless carriers must locate equipment in particular areas in order to provide sufficient wireless service in these areas. After careful consideration, the property has been determined to be the most appropriate for the equipment.

#### **5. Public Welfare**

Granting the requested variation will not be detrimental to the public welfare or unduly injurious to neighboring properties.

#### **6. Public Safety, Property Values**

Approval of the requested variation will not likely endanger the public safety, or impact property values within the general area.

### **III. Recommendations**

Accordingly, by a vote of \_\_\_ to \_\_\_, the Development Commission recommends approval of the request, subject to the following conditions:

1. Uses are to be as generally depicted on the site plans and elevations prepared on October 3, 2013 by Fullerton Engineering Design, except as amended below. Final design and material details are to be approved by the Community & Economic Development Department. Plan amendments shall include:
  - a. Service building shall be moved to the south to provide a minimum setback of 5 feet from the property line.
  - b. Additional landscaping, in the form of evergreen trees, shall be installed to the north of the service building.

2. No building permit shall be issued for such uses until final equipment shelter design and material details, to match that of existing buildings onsite, are approved by the Community & Economic Development Department.
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5. No signs are approved as part of this request.
6. No outdoor display, sales, or storage of materials is permitted on this site.



**Village of Hanover Park  
Community Development Department**

**INTEROFFICE MEMORANDUM**

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**TO:** Chairman Wachsmuth and members of the Development Commission

**FROM:** Shubhra Govind, Director of Community and Economic Development

**SUBJECT:** **Public Hearing Re: Zoning Regulations pertaining to Distribution Facilities for Medical Marijuana (pursuant to Public Act 098-0122 Compassionate Use of Medical Cannabis Pilot Program Act)**

**ACTION REQUESTED:**  Approval  Disapproval  Information

**MEETING DATE:** **November 14, 2013**

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**REQUEST SUMMARY:**

On February 7, 2013, the Village Board approved Resolution No. R-13-04 which requires the Development Commission to hold a public hearing on the question of whether: 1) the Zoning Ordinance should be amended to include Distribution Facilities as a Special Use; 2) the Zoning or District Map should be changed; or 3) zoning text amendments are necessary; and the Development Commission should make a recommendation to the Village Board regarding the same with any other conditions that should be attached to the zoning of the Distribution Facilities.

Such Public Hearing was to be held within 120 days of the proposed law becoming a Public Act. This Public Act was passed on August 1, 2013. A summary overview of this law is attached. The full text of the Public Act can be found at <http://www.ilga.gov/legislation/publicacts/98/098-0122.htm>

Staff requests that the Development Commission hold a public hearing to discuss the above mentioned topic of Distribution Facilities, and make a recommendation to the Village Board following review of information, discussion and any feedback received from the public.

**BACKGROUND:**

Here is a brief overview for background:

- The Public Act 098-0122 is called the “Compassionate Use of Medical Cannabis Pilot Program Act”. The law creates a four-year pilot medical marijuana program that will go into effect on January 1, 2014. It was created with a “sunset” provision so that if the legislature does not renew the program or create a new law the program will cease to operate four years from the date it went into effect.

- It legalizes the use of medical marijuana (also referred to as ‘Compassionate Cannabis’) in Illinois, permitting its distribution to qualifying patients with a prescribed debilitating medical condition.
- The Act allows for no more than one cultivation center in each state police district for a total of 22 possible centers. It allows for as many as 60 dispensing facilities to be located anywhere within the state.
- This Act allows for individuals with thirty-three serious diseases including cancer, HIV and multiple sclerosis to obtain an ID card allowing them to buy limited amounts. Individuals, with a special ID card issued by the Illinois Department of Public Health, are allowed to obtain up to 2.5 ounces during a 14 day period, of medical marijuana from a state-licensed dispensary.
- While the Village does not have the authority to wholly prohibit medical marijuana dispensing facilities, we are granted the authority to enact ‘reasonable zoning regulations’ in addition to the standards prescribed by the state. The statutory standards call for required buffering from certain uses and zones:
  - ✓ **Cultivation centers may not be located within 2,500 feet of “the property line of a pre-existing public or private preschool or elementary or secondary school or day care center, day care home, group day care home, part day child care facility, or an area zoned for residential use.”** Patients cannot grow their own medical cannabis. Only state-regulated cultivation centers would be allowed to grow cannabis.
  - ✓ **Dispensaries may not be located within 1000 feet of “the property line of a pre-existing public or private preschool or elementary or secondary school or day care center, day care home, group day care home, or part day child care facility.” A dispensary also may not be located in any area zoned for residential use.**

The Village adopted Resolution R-13-04 (attached), which established a moratorium on such facilities within the Village, for a period of 180 days, and required the Development Commission to hold a public hearing within 120 days, after the law became a Public Act.

**DISCUSSION:**

Staff has prepared some analysis using the above mentioned location restrictions. We first created a database of all existing schools and daycares within Hanover Park. Next, we prepared a map showing the location of all residential zones/districts, along with the location of all existing schools and existing daycares. We applied a buffer of 1000-ft radius around each location, to determine the locations that dispensaries will be prohibited from locating, and a buffer of 2500-ft for areas where Cultivation centers will be prohibited, using the state’s standards.

From this analysis, it can be determined that:

- ✓ The locations available for a Cultivation Center are limited to:
  - Some areas in the HC – High Cube Industrial District,
  - Some areas in the BP Business Park district – including 1) the Turnberry Business Park, 2) the area just west of County Farm in the vicinity of the Village Center area, 3) the area along Lake St. at the west end of our corporate limits; and 4) the Hanover Corporate Center, just south of Schick Rd.

- Some areas in the L-I Limited Industrial District – including the northwestern portion of the Mallard Lakes Industrial Park, and the Lions Park area
  - B-1 – Convenience Shopping district at the western boundary of the Village, just south of Schick Rd. Many of these areas, including this one are public parks, libraries, or Village utility properties (including this one).
- ✓ The locations available for a Dispensing Facility are:
- The HC – High Cube Industrial District,
  - The BP Business Park district – including the Turnberry Business Park, the undeveloped area west of County Farm in the vicinity of the Village Center area, and the Hanover Corporate Center, south of Schick Rd.
  - The L-I Limited Industrial District –including the Mallard Lakes Industrial Park
  - B-1 – Convenience Shopping district at the western boundary of the Village, just south of Schick Rd.
  - B-2 Local Business District - along Irving Park Rd.
  - B-2 Local Business District - along Devon Ave.

Several municipalities within DuPage County have formed a working group/Committee to discuss and address this issue. The committee is tasked to provide information on medical marijuana to the membership of the DuPage Mayors and Managers Conference, determine what actions communities may or may not be taking to address cultivation and dispensary facilities, and provide a recommendation by December 11 to the Conference’s Managers Committee. The next meeting for this committee is on Nov. 12. Staff shall incorporate any feedback from this meeting into our review discussions.

**ZONING CODE TEXT AMENDMENTS:**

Following discussion at the Nov. 14. Public Hearing, staff will provide additional information as needed and determine the changes that will be necessary. This information will be brought back to the Development Commission at a future meeting (date of the continued public hearing). Since this is an emerging land use the current Zoning Ordinance does not have a definition for a medical cannabis dispensing organization.

The following definitions could be considered to be added to Section 110-2.3 Definitions:

**“Cannabis Cultivation Center** – a facility operated by an organization or business that is registered by the Illinois Department of Agriculture to perform necessary activities to provide only registered medical cannabis grown and cultivated to be packaged and distributed to registered medical cannabis dispensing organizations with usable medical cannabis in accordance with the laws of the State of Illinois. In addition a cultivation center must be located at least 2500 feet from any daycare center, school or area zoned for residential use.”

**“Medical Cannabis Dispensing Centers** – a facility operated by an organization or business that is registered by the Department of Financial and Professional Regulation to acquire medical cannabis from a registered cultivation center for the purpose of dispensing cannabis, paraphernalia, or related supplies and educational materials to registered qualifying patients in accordance with the laws of the State of Illinois. In addition a dispensary cannot be located within 1000 feet of a school or daycare center or located in a residential neighborhood.”

There are other text amendments that will be determined following the Development Commission's discussion on Nov. 14. Staff shall draft these and bring them back to a future meeting for consideration, as part of the public hearing process.

### **ISSUES TO BE CONSIDERED:**

It appears that while a large portion of the Village is covered under the 2500-ft buffer for the Cultivation center, there are several areas, which are not covered for the dispensing facilities within the 1000-ft radius of schools and daycares. These areas are close to residential uses and in the close proximity of parks, churches, and other public gathering places, which is not desirable.

At this time, the following issues need to be considered, as zoning regulations are developed for Cultivation Centers as well as Dispensing Facilities:

- ✓ What zoning districts should these uses be allowed in?
- ✓ Should specific Special Use criteria be developed to evaluate potential locations?
- ✓ Should these be stand-alone buildings or is it acceptable for these uses to be located in a multi-tenant building?
- ✓ Is there any additional information that the Commission would like to see prior to making a recommendation?

### **RECOMMENDATION**

Staff recommends that the Development Commission discuss the issues, including those identified above, provide feedback to staff, and **continue the public hearing**.

### **ATTACHMENTS**

Exhibit 1 – Public Act Summary

Exhibit 2 – Resolution R-13-04

Exhibit 3 – Map showing areas prohibited from having cultivation/dispensing facilities

## Compassionate Use of Medical Cannabis Pilot Program Act

The recently passed Compassionate Use of Medical Cannabis Pilot Program Act creates the legal framework for a statewide allowance of medical cannabis. The bill sets parameters for prescription, cultivation, distribution, and usage of medicinal cannabis while also setting a timeline for further decisions to be made by state agencies.

The first portion of the bill justifies the allowing of medical cannabis citing health benefits for certain conditions and the other states preceding Illinois in such action.<sup>1</sup> The statute provides great detail in defining the many parts of a medicinal cannabis industry and distinguishes it as a separate category from other controlled substances.<sup>2</sup>

The bill establishes medical cannabis as a legally usable substance for patients of need. Amongst the parameters of usage:

- Limits cannabis use to what is defined as qualifying patients.<sup>3</sup> The patient must be diagnosed by a licensed Physician as having a debilitating medical condition as determined by a list in statute or by the Department of Public Health in Section 45. A prescription is also required.<sup>4</sup>
- A patient may receive no more than 2.5 ounces every two weeks.<sup>5</sup>
- Patients can be excluded or revoked of their privileges for certain criminal charges.
- The sale of medical cannabis includes a special sales tax of 7% towards a fund to finance enforcement of the law.<sup>6</sup>

The bill allows for no more than one cultivation center in each state police district for a total of 22 possible centers. It allows for as many as 60 dispensing organizations to be located anywhere within the state.<sup>7,8</sup> The cultivation facilities and dispensing centers have tight requirements for security and operations monitoring. They are limited to a relationship strictly between each other for supply and sales.

Throughout the statute, most of the enforcement and compliance responsibilities are delegated to state agencies. The statute provides limited sitting controls to buffer dispensaries and cultivation centers from certain uses and zones. Local jurisdictions, however, are granted the authority to enact 'reasonable zoning regulations' in addition to the standards prescribed by the statute. The statutory standards follow below:

- **Cultivation centers may not be located within 2,500 feet of “the property line of a pre-existing public or private preschool or elementary or secondary school or day care center, day care home, group day care home, part day child care facility, or an area zoned for residential use.”<sup>9</sup>**
- **Dispensaries may not be located within 1000 feet of “the property line of a pre-existing public or private preschool or elementary or secondary school or day care center, day care home, group day care home, or part day child care facility.” A dispensary also may not be located in any area zoned for residential use.<sup>10</sup>**
- The bill vaguely states in section 140 that a local government may “enact reasonable zoning ordinances or resolutions” and that it may not regulate any organization other than authorized in the act. A valid registration of a cultivation center or dispensary depends on compliance of local zoning rules as defined as “reasonable” within section 140. Inspections and approvals normally performed by local governments are reserved for state agencies as well.<sup>11</sup>

Overall, the bill is designed as a policy pilot program and expires after four years if there is no legislative extension. It also relies on further administrative action within the respective state agencies to further detail the process of items such as fees, registration, and rules within 120 days from the bill's effective date. The allowance of local control may increase or decrease upon the enacting of such details.

1. (a) The recorded use of cannabis as a medicine goes back nearly 5,000 years. Modern medical research has confirmed the beneficial uses of cannabis in treating or alleviating the pain, nausea, and other symptoms associated with a variety of debilitating medical conditions, including cancer, multiple sclerosis, and HIV/AIDS, as found by the National Academy of Sciences' Institute of Medicine in March 1999.

(b) Studies published since the 1999 Institute of Medicine report continue to show the therapeutic value of cannabis in treating a wide array of debilitating medical conditions. These include relief of the neuropathic pain caused by multiple sclerosis, HIV/AIDS, and other illnesses that often fail to respond to conventional treatments and relief of nausea, vomiting, and other side effects of drugs used to treat HIV/AIDS and hepatitis C, increasing the chances of patients continuing on life-saving treatment regimens.

2. (g) State law should make a distinction between the medical and non-medical uses of cannabis. Hence, the purpose of this Act is to protect patients with debilitating medical conditions, as well as their physicians and providers, from arrest and prosecution, criminal and other penalties, and property forfeiture if the patients engage in the medical use of cannabis.

3. (t) "Qualifying patient" means a person who has been diagnosed by a physician as having a debilitating medical condition.

4. (1) cancer, glaucoma, positive status for human immunodeficiency virus, acquired immune deficiency syndrome, hepatitis C, amyotrophic lateral sclerosis, Crohn's disease, agitation of Alzheimer's disease, cachexia/wasting syndrome, muscular dystrophy, severe fibromyalgia, spinal cord disease, including but not limited to arachnoiditis, Tarlov cysts, hydromyelia, syringomyelia, Rheumatoid arthritis, fibrous dysplasia, spinal cord injury, traumatic brain injury and post-concussion syndrome, Multiple Sclerosis, Arnold-Chiari malformation and Syringomyelia, Spinocerebellar Ataxia (SCA), Parkinson's, Tourette's, Myoclonus, Dystonia, Reflex Sympathetic Dystrophy, RSD (Complex Regional Pain Syndromes Type I), Causalgia, CRPS (Complex Regional Pain Syndromes Type II), Neurofibromatosis, Chronic Inflammatory Demyelinating Polyneuropathy, Sjogren's syndrome, Lupus, Interstitial Cystitis, Myasthenia Gravis, Hydrocephalus, nail-patella syndrome, residual limb pain, or the treatment of these conditions; or

(2) any other debilitating medical condition or its treatment that is added by the Department of Public Health by rule as provided in Section 45.

5. (h) A dispensing organization may not dispense more than 2.5 ounces of cannabis to a registered qualifying patient, directly or via a designated caregiver, in any 14-day period unless the qualifying patient has a Department of Public Health-approved quantity waiver.

6. (a) Beginning on the effective date of this Act, a tax is imposed upon the privilege of cultivating medical cannabis at a rate of 7% of the sales price per ounce. The proceeds from this tax shall be deposited into the Compassionate Use of Medical Cannabis Fund created under the Compassionate Use of Medical Cannabis Pilot Program Act. This tax shall be paid by

a cultivation center and is not the responsibility of a dispensing organization or a qualifying patient.

7. (a) The Department of Agriculture may register up to 22 cultivation center registrations for operation. The Department of Agriculture may not issue more than one registration per each Illinois State Police District boundary as specified on the date of January 1, 2013. The Department of Agriculture may not issue less than the 22 registrations if there are qualified applicants who have applied with the Department.

8. (a) The Department of Financial and Professional Regulation may issue up to 60 dispensing organization registrations for operation. The Department of Financial and Professional Regulation may not issue less than the 60 registrations if there are qualified applicants who have applied with the Department of Financial and Professional Regulation. The organizations shall be geographically dispersed throughout the State to allow all registered qualifying patients reasonable proximity and access to a dispensing organization.

9. (c) A registered cultivation center may not be located within 2,500 feet of the property line of a pre-existing public or private preschool or elementary or secondary school or day care center, day care home, group day care home, part day child care facility, or an area zoned for residential use.

10. d) A dispensing organization may not be located within 1,000 feet of the property line of a pre-existing public or private preschool or elementary or secondary school or day care center, day care home, group day care home, or art day child care facility. A registered dispensing organization may not be located in a house, apartment, condominium, or an area zoned for residential use.

11. Section 140. Local ordinances. A unit of local government may enact reasonable zoning ordinances or resolutions, not in conflict with this Act or with Department of Agriculture or Department of Public Health rules, regulating registered medical cannabis cultivation center or medical cannabis dispensing organizations. No unit of local government, including a home rule unit, or school district may regulate registered medical cannabis organizations other than as provided in this Act and may not unreasonably prohibit the cultivation, dispensing, and use of medical cannabis authorized by this Act. This Section is a denial and limitation under subsection (i) of Section 6 of Article VII of the Illinois Constitution on the concurrent exercise by home rule units of powers and functions exercised by the State.

**RESOLUTION NO. R-13-04**

**RESOLUTION REGARDING ZONING RESTRICTIONS ON  
CANNABIS DISPENSARIES AND RELATED FACILITIES  
AND ESTABLISHING A MORATORIUM**

**WHEREAS**, the Village of Hanover Park (“Village”) is a home rule municipality established and existing in accordance with the Constitution of the State of Illinois of 1970; and

**WHEREAS**, the Village has a long tradition of utilizing its zoning and planning authority to ensure that compatible uses are maintained in its various neighborhoods; and

**WHEREAS**, the Illinois General Assembly was considering House Bill 30, which may now be known as House Bill 1 (the “Proposed Law”), which would authorize qualifying patients that have been diagnosed by a physician as having a debilitating medical condition, as defined by the Proposed Law, to use cannabis without being subject to arrest, prosecution, or denial of any right or privilege for the medical use of cannabis in accordance with the Proposed Law; and

**WHEREAS**, under the Proposed Law, nonprofit medical cannabis organizations, as defined by the Proposed Law (“Distribution Facilities”), will be authorized to grow, harvest, and distribute cannabis; and

**WHEREAS**, under the Proposed Law only one Distribution Facility will be permitted by the state to operate within each Illinois Senate District; and

**WHEREAS**, Chapter 110 of the Village’s Municipal Code (the “Zoning Ordinance”), does not plainly address uses that would encompass Distribution Facilities or related operations; and

**WHEREAS**, if the Proposed Law becomes a Public Act, the Village will not be immediately equipped to handle zoning requests from Distribution Facilities; and

**WHEREAS**, the Village Board has determined that it is in the best interest of the Village and its residents to direct the Development Commission of the Village of Hanover Park (the “Development Commission”), to evaluate the classification of Distribution Facilities and recommend to the Village Board whether Distribution Facilities should be considered “Special Uses” under the Zoning Ordinance as well as such other regulations as may be necessary, important, or beneficial to the Village and its residents; and

**WHEREAS**, in order to ensure the vitality of the Village’s Zoning Ordinance, if the Proposed Law becomes law, the Village Board of Trustees find that it is in the best interest of the public health, safety, and welfare of the residents of the Village of Hanover Park to temporarily halt the location of a Distribution Facility within the Village; and

**WHEREAS**, a period of time is necessary to allow the Development Commission to study and adopt specific criteria, zoning amendments, special use ordinances, or other ordinances guiding the use of a Distribution Facility within the Village; and

**WHEREAS**, the Village Board of Trustees find that the least intrusive, reasonable moratorium necessary to effectively carry out the study and to allow future changes to the Village's Zoning Ordinance is to place a moratorium affecting all properties within the Village to permit time for studying the creation of special use, zoning map amendments, and zoning text amendments; now, therefore,

**BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES** of the Village of Hanover Park, Illinois, as follows:

**SECTION 1:** Recitals. The foregoing recitals are incorporated in and made a part of this Resolution by reference as findings of the Village Board of Trustees of the Village of Hanover Park, Illinois.

**SECTION 2:** Direction to the Development Commission; Notice to Public. Should the Proposed Law, or any similar law, be approved by the Illinois General Assembly, and become a Public Act, the Development Commission is hereby directed to hold a public hearing on the question of whether: (i) the Zoning Ordinance should be amended to include Distribution Facilities as a Special Use; (ii) the Zoning or District Map should be changed; or (iii) zoning text amendments are necessary; and the Development Commission should make a recommendation to the Village Board of Trustees regarding the same along with any other conditions that should be attached to the zoning of Distribution Facilities. The hearing by the Development Commission shall be given as required by law within 120 days after the Proposed Law or any similar proposed law becomes a Public Act. The public shall be deemed to have notice that the Village is considering a Zoning Ordinance amendment regarding Distribution Facilities as to the effective date of this Resolution and a moratorium.

**SECTION 3:** That a moratorium is imposed hereby upon the location of a Distribution Center within the Village for a period of 180 days after the Proposed Law or similar law becomes a Public Act, or sooner upon the Village Board of Trustees adopting the recommendation from the Development Commission together with any amendments to Village Ordinances (if any are necessary regarding Distribution Facilities). This moratorium shall apply to all properties within the Village of Hanover Park.

**SECTION 4:** Effective Date. This Resolution shall be in full force and effect upon its passage and approval.

ADOPTED this 7th day of February 2013, pursuant to a roll call vote as follows:

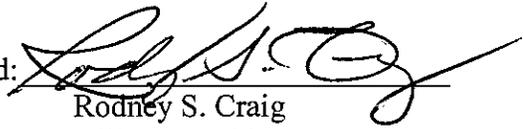
AYES: Cannon, Konstanzer, Kemper, Craig

NAYS: Roberts, Zimel, Kunkel

ABSENT: None

ABSTENTION: None

Approved:



Rodney S. Craig  
Village President

Attest:

  
Eira Corral, Village Clerk

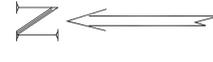
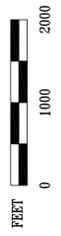
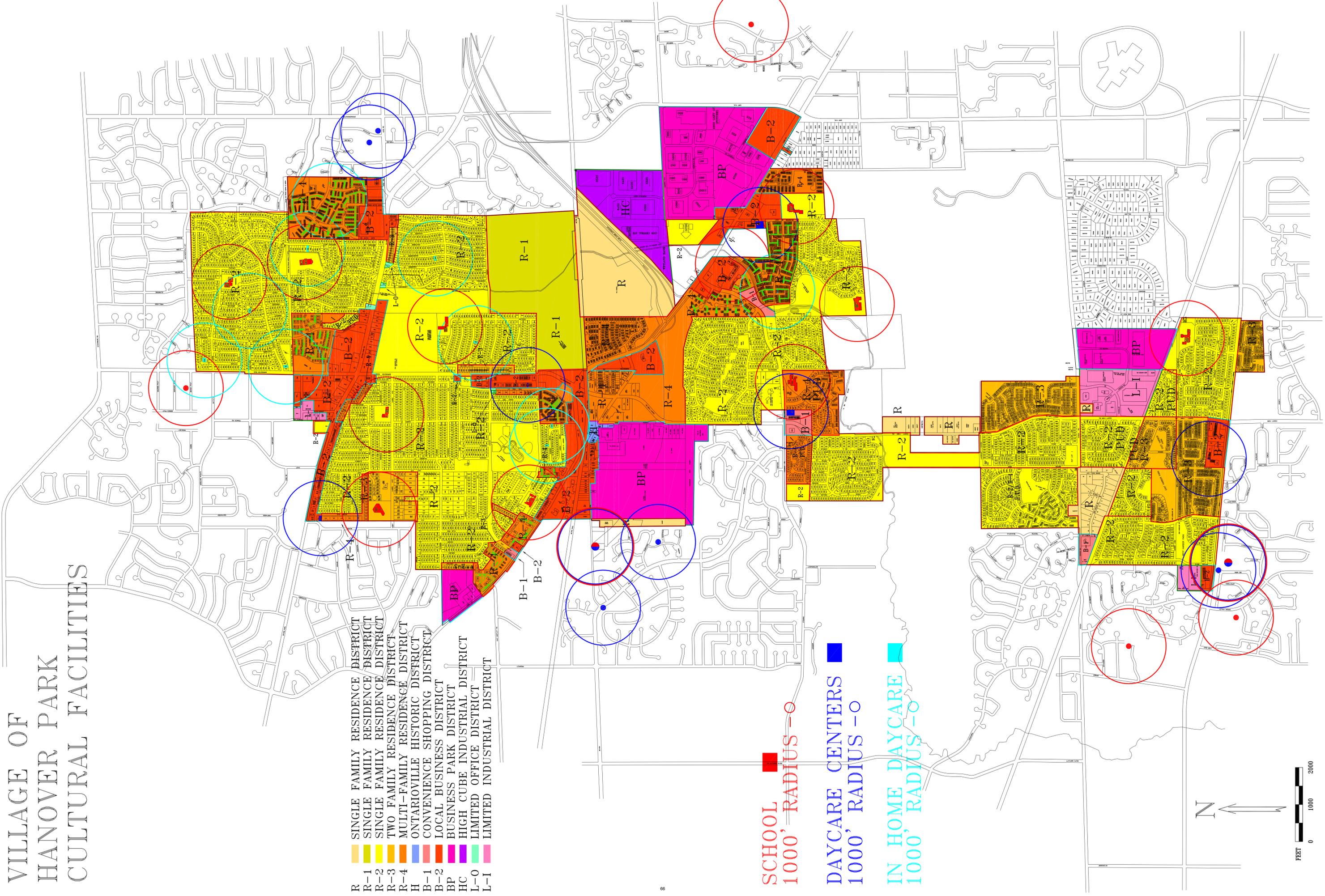
# VILLAGE OF HANOVER PARK CULTURAL FACILITIES

- R-1 SINGLE FAMILY RESIDENCE DISTRICT
- R-2 SINGLE FAMILY RESIDENCE DISTRICT
- R-3 SINGLE FAMILY RESIDENCE DISTRICT
- R-4 TWO FAMILY RESIDENCE DISTRICT
- H MULTI-FAMILY RESIDENCE DISTRICT
- B-1 ONTARIOVILLE HISTORIC DISTRICT
- B-2 CONVENIENCE SHOPPING DISTRICT
- BP LOCAL BUSINESS DISTRICT
- HC BUSINESS PARK DISTRICT
- L-0 HIGH CUBE INDUSTRIAL DISTRICT
- L-1 LIMITED OFFICE DISTRICT

SCHOOL  
1000' RADIUS - O

DAYCARE CENTERS  
1000' RADIUS - O

IN HOME DAYCARE  
1000' RADIUS - O



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- 2500' RADIUS
- DAYCARE CENTERS
- 1000' RADIUS
- 2500' RADIUS
- IN HOME DAYCARE
- 1000' RADIUS
- 2500' RADIUS

